

# Greeneway Improvement District

12051 Corporate Boulevard Orlando, FL 32817; 407-723-5900

[www.greenewayid.org](http://www.greenewayid.org)

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The following is the proposed agenda for the upcoming Meeting of the Board of Supervisors for the Greeneway Improvement District ("District"), scheduled to be held at **3:00 p.m. on Tuesday, November 19, 2019 at 6900 Tavistock Lakes Blvd., Suite 200, Orlando, FL 32827**. A quorum will be confirmed prior to the start of the meeting.

For those unable to attend in person, you may participate by telephone:

Phone: 1-844-621-3695 (new)

Participant Code: 796 580 192# (new)

## BOARD OF SUPERVISORS' MEETING AGENDA

### Organizational Matters

- Roll Call to Confirm a Quorum
- Public Comment Period
- 1. **Consideration of the Minutes of the October 15, 2019 Board of Supervisors' Meeting**

### Business Matters

- 2. **Consideration of Resolution 2020-01, Adopting an Amended Budget for FY 2019**
- 3. **Ratification of Requisition Nos. 665 – 668 & 2018-31 – 2018-36 Approved in October 2019 in an amount totaling \$981,967.04**
- 4. **Ratification of Operation and Maintenance Expenditures Paid in October 2019 in an amount totaling \$22,707.58**
- 5. **Recommendation of Work Authorizations/Proposed Services (if applicable)**
- 6. **Review of District's Financial Position and Budget to Actual YTD +**

### Other Business

- A. Staff Reports
  - 1. District Counsel
  - 2. District Manager
  - 3. District Engineer
  - 4. Construction Supervisor
- B. Supervisor Requests

### Adjournment



# **GREENEWAY IMPROVEMENT DISTRICT**

**Minutes of the October 15, 2019  
Board of Supervisors' Meeting**

**GREENWAY IMPROVEMENT DISTRICT  
BOARD OF SUPERVISORS' MEETING MINUTES**

**FIRST ORDER OF BUSINESS**

The Board of Supervisors' Meeting for the Greenway Improvement District was called to order on Tuesday, October 15, 2019, at 3:00 p.m. at 6900 Tavistock Lakes Blvd., Suite 200, Orlando, FL 32827. Members listed below constituted a quorum.

Richard Levey  
Chad Tinetti  
Amanda Kost

Chair  
Vice-Chair  
Assistant Secretary

Also attending:

Jennifer Walden  
Tucker Mackie  
Jeff Newton  
Larry Kaufmann  
Scott Thacker

PFM  
Hopping Green & Sams  
Donald W. McIntosh Associates  
Construction Supervisor  
Construction Committee

**SECOND ORDER OF BUSINESS**

**Public Comment Period**

Dr. Levey noted that there were no members of the public present.

**THIRD ORDER OF BUSINESS**

**Consideration of Minutes of  
the September 17, 2019 Board  
of Supervisors' Meeting**

Board Members reviewed the minutes from the September 17, 2019 Board of Supervisors' Meeting.

On Motion by Mr. Tinetti, second by Ms. Kost, with all in favor, the Board of Supervisors for the Greenway Improvement District approved the minutes of the September 17, 2019 Board of Supervisors' Meeting.
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**FOURTH ORDER OF BUSINESS**

**Discussion                      Regarding  
Professional                      Landscape  
Architectural Services**

Ms. Mackie explained that at the last Board meeting staff reviewed two work authorizations for Centerline Drive for landscape architectural services from Dix+Hite. The Board approved those but District staff subsequently had several conversations with the Developer and determined that, since the landscape will be a very important aspect of the roadway design and that consistency is important throughout the Lake Nona Development, Tavistock would like to engage with the landscape architect directly and then the District would acquire that work product at the time that the District is ready to proceed with the actual installation of that product. There was no action required.

## **FIFTH ORDER OF BUSINESS**

### **Consideration of First Amendment to the Agreement between GID and Cepra Landscape LLC, regarding the Provision of Nemours Parkway Landscape and Irrigation Maintenance Services**

Ms. Mackie explained that the District currently has a Landscape Maintenance Agreement with Cepra Landscape LLC. This amendment is for additional services for Phase 6, which recently came out of the two-year maintenance period following completion of the roadway. District staff is requesting to add this portion of the roadway to the existing landscape contract. This was a known quantity at the time of budgeting for this fiscal year. The amount is \$1,985.00 per month will be added to the existing agreement and the area will be included in the bid package when the landscape services are ready to go out to bid next time.

On Motion by Ms. Kost, second by Mr. Tinetti, with all in favor, the Board of Supervisors for the Greenway Improvement District approved the First Amendment to the Agreement between GID and Cepra Landscape LLC, regarding the Provision of Nemours Parkway Landscape and Irrigation Maintenance Services.

## **SIXTH ORDER OF BUSINESS**

### **Consideration of FY 2019 Audit Engagement Letter**

Ms. Walden explained that District Counsel has reviewed the Fiscal Year 2019 Engagement Letter and the comments have been incorporated. The services will not exceed \$4,550.00 unless the scope changes. The District budgeted \$7,000.00 for this line item.

On Motion by Ms. Kost, second by Mr. Tinetti, with all in favor, the Board of Supervisors for the Greenway Improvement District approved the FY 2019 Audit Engagement Letter.

## **SEVENTH ORDER OF BUSINESS**

### **Agreement for Professional Structural Engineering Services with AVCON, INC.**

The District went through an RFQ process to select a structural engineering firm to provide services in the future regarding several bridge or culvert construction features. Included within the agenda package is a general form of engineering services agreement. When the District is ready to proceed with actual design, District staff will present a work authorization to the Board with pricing.

On Motion by Mr. Tinetti, second by Ms. Kost, with all in favor, the Board of Supervisors for the Greenway Improvement District approved the Agreement for Professional Structural Engineering Services with AVCON, INC.



## **EIGHTH ORDER OF BUSINESS**

**Ratification of Requisition  
Nos. 663 – 664 & 2018-26 –  
2018-30 Approved in  
September 2019 in an amount  
\$282,960.47**

Board Members reviewed Requisition Nos. 663 – 664 & 2018-26 – 2018-30 Approved in September 2019 in an amount \$282,960.47. Dr. Levey noted that these have already been approved and paid and just need to be ratified by the Board.

On Motion by Ms. Kost, second by Mr. Tinetti, with all in favor, the Board of Supervisors for the Greenway Improvement District ratified Requisition Nos. 663-664 & & 2018-26 – 2018-30 Approved in September 2019 in an amount \$282,960.47.

## **NINTH ORDER OF BUSINESS**

**Ratification of Operation and  
Maintenance Expenditures  
Paid in September 2019 in the  
amount totaling \$126,050.52**

Board Members reviewed the Operation & Maintenance expenditures paid in September 2019 in the amount totaling \$126,050.52. Ms. Walden noted that these have already been approved and paid and just need to be ratified by the Board.

On Motion by Ms. Kost, second by Mr. Tinetti, with all in favor, the Board of Supervisors for the Greenway Improvement District ratified the Operation & Maintenance expenditures paid in September 2019 in the amount totaling \$126,050.52.

## **TENTH ORDER OF BUSINESS**

**Recommendation of Work  
Authorizations/Proposed  
Services**

Mr. Kaufmann presented a Work Authorization (Minutes Exhibit A) from AVCON for Culvert Structural Design for Centerline Drive Segment A road culverts in the amount of \$10,472.50. Dr. Levey requested a map graphic depicting the location of the work going forward.

On Motion by Mr. Tinetti, second by Ms. Kost, with all in favor, the Board of Supervisors for the Greenway Improvement District approved Work Authorization from AVCON for Culvert Structural Design for Centerline Drive Segment A Road Culverts in the amount of \$10,472.50.

Mr. Kaufmann presented a Work Authorization (Minutes Exhibit B) from Central Florida Locating, Inc. for underground locates for Centerline Drive Road Construction Plans Segment A & B in the amount of \$7,855.00.

On Motion by Tinetti, second by Ms. Kost, with all in favor, the Board of Supervisors for the Greenway Improvement District approved Work Authorization from Central Florida Locating, Inc. for underground locates for Centerline Drive Road Construction Plans Segment A & B in the amount of \$7,855.00.

Mr. Kaufmann presented a Work Authorization (Minutes Exhibit C) from Central Florida Locating, Inc. for underground locates for Centerline Drive Road Construction Plans Segments C & D in the amount of \$15,395.00.

On Motion by Ms. Kost, second by Mr. Tinetti, with all in favor, the Board of Supervisors for the Greenway Improvement District approved Work Authorization from Central Florida Locating, Inc. for underground locates for Centerline Drive Road Construction Plans Segments C & D in the amount of \$15,395.00.

## **ELEVENTH ORDER OF BUSINESS**

### **Review of District's Financial Position and Budget to Actual YTD**

The Board reviewed the District's financial position. Ms. Walden explained that the District has gone over the adopted budget for Fiscal Year 2019 and invoices can still come in through next month. At the next meeting, the Board will be required to approve a revised budget for Fiscal Year 2019. No action was required by the Board today.

The Board reviewed some of the outstanding line items. The landscape maintenance and reclaimed water were the biggest contributors to the overage because the District used some Fiscal Year 2019 funds for hurricane repair under Fiscal Year 2018. Dr. Levey requested a reconciliation for next month. Ms. Lane will be asked to reach out to vendors who have not yet billed the District for FY 2019 services. Questions arose regarding reclaimed water. Mr. Thacker will go back with Ms. Lane and review the bills.

## **TWELFTH ORDER OF BUSINESS**

### **Staff Reports**

#### **District Counsel –**

Ms. Mackie noted that Committee weeks have already started earlier this year. So the Board will receive the Capital Conversations newsletter at the end of next month. If anyone wishes not to receive it she can take their name off the list and she will provide reports to the Board at the monthly meetings.

#### **District Manager –**

Ms. Walden noted that the next meeting is scheduled for Tuesday, November 19, 2019.

#### **District Engineer –**

Mr. Newton circulated the Construction Contract Status Memorandum (Minutes Exhibit D). Jr. Davis completed the erosion repair on October 9, 2019 at Nemours Parkway Phase 6. Repairs to damaged sidewalk, landscape and hardscape are scheduled for the week of October 14, 2019. Punch list walk is anticipated for October 18, 2019.

Nemours Parkway Phase 7 has been fully paved and striping, landscaping and asphalt are complete. The lift station is substantially complete and start up is pending OUC electric installation, which is currently anticipated in early- November. Substantial completion of the project is anticipated on late-November.

Mr. Newton presented Change Order No. 4 in the additive amount of \$49,204.52 for landscape and irrigation revisions for Nemours Parkway Phase 7, as reviewed and approved by Dix+Hite.

A preconstruction meeting with the City regarding the installation of the permanent drainage pipe along Centerline Drive took place on October 8, 2019 and construction by DeWitt Excavation is to commence the week of October 14, 2019. The pipe installation is anticipated to take approximately 3 weeks to complete, followed by close-out inspections and certification.

On Motion by Mr. Tinetti, second by Ms. Kost, with all in favor, the Board of Supervisors for the Greenway Improvement District approved the recommendations of the Construction Contract Status Memorandum dated October 15, 2019 to include Nemours Parkway Phase 7 – Jr. Davis Construction, Inc. Change Order No. 4 for landscape and irrigation revisions, as reviewed and approved by Dix+Hite in the additive amount of \$49,204.52.

**Construction Supervisor –** Mr. Kaufmann indicated that there are monuments on Nemours Parkway Phase 6 that are scheduled to be installed at the entrance to the project and are still in permitting. They are part of the Nemours Phase 7 Construction Contract but are located at Nemours Phase 6.

## **THIRTEENTH ORDER OF BUSINESS**

### **Supervisor and Audience Comments & Adjournment**

Dr. Levey requested District staff remove the public comment period at the end of the agenda since they have one in the beginning. Ms. Mackie explained that the public comment period at the beginning was established to allow residents to speak on any agenda item before they come to the Board for approval and the comment period at the end was to allow for the public to comment on any items of concern unrelated to the agenda but District staff will remove this comment period going forward.

Mr. Tinetti asked about the ground penetrating radar. Mr. Newton responded that it is money well spent because it helps avoid conflicts encountered during construction, which often lead to redesign and increased construction costs. Ms. Kost asked if it has to be spent every time and if the process could be changed moving forward. Mr. Newton responded it will be challenging and not all as-built surveys are created equally and do not always conform to certain standards. He explained the reason for soft digs and the ground penetrating radar.

There was no further business to discuss. Dr. Levey requested a motion to adjourn.

On Motion by Mr. Tinetti, second by Ms. Kost, with all in favor, the October 15, 2019 Meeting of the Board of Supervisors for the Greenway Improvement District was adjourned.

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Secretary/Assistant Secretary

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Chair/Vice Chair

## GREENWAY IMPROVEMENT DISTRICT

## Recommendation for Work Authorization / Proposed Services

Project Name: GID – Centerline Drive Segment A Box Culvert CrossingBrief Description: Culvert Structural Design for Centerline Drive Segment A Road Culverts.  
  
  
Name of Consultant /Vendor: AVCON, Inc.Is this work pursuant to an existing Agreement? ☒ Yes ☐ NoIf so, name and date of Agreement: Is this project included in the District Capital Improvement Plan? ☒ Yes ☐ NoAre the services required contemplated in the Capital Improvement Plan? ☒ Yes ☐ NoIs this a continuation of previously authorized work? ☐ Yes ☒ NoProposal attached: ☒ Yes ☐ NoForm of Agreement Utilized: ProposalAmount of Services: \$ 10,472.50Recommendation: ☒ Approve ☐ Deny

By:

 10/15/19  
Larry Kaufmann, Chairman

Greenway Improvement District Construction Committee

c: Jennifer Walden  
Tucker Mackie  
Jeffrey Newton  
Lynne Mullins



**AVCON, INC.**  
ENGINEERS & PLANNERS

5555 E. Michigan Street  
Suite 200  
Orlando, FL 32822-2779  
Phone: (407) 599-1122  
Email: avcon@avconinc.com  
www.avconinc.com

October 2, 2019

Jeffrey J. Newton, P.E.  
District Engineer  
**Greenway Improvement District**  
12051 Corporate Boulevard  
Orlando, FL 32817

Via email: jjnewton@dwma.com

**Reference: Structural Engineering Scope of Services and Fee Proposal for Centerline  
Drive-Segment A Culvert Crossing within the Greenway Improvement District**

Dear Mr. Newton:

AVCON, INC. (AVCON) is pleased to present this scope of services and fee proposal to provide structural engineering design and construction phase services to the Greenway Improvement District. The proposed scope and fee are summarized as follows:

**Culvert Structural Design**

1. Attend one meeting and coordinate with the roadway/geotechnical design team,
2. Design of Concrete Box Culvert crossings, (Proposed fee is for one (1) crossing. Fee will be increased by a multiple matching the design fee shown for any additional culvert crossings).
3. Prepare 90% and 100% CDs contract documents,
4. Respond to 90% submittal review comments and regulatory review comments received during project permitting, and
5. Post Design Services including:
  - A. Review of shop drawings, product and material submittals, and Contractor testing reports (compaction tests and concrete break tests),
  - B. Response to Contractor RFIs,
  - C. Periodic site visits during construction to observe all pre-concrete placement work to which the Contractor shall receive written confirmation from AVCON prior to placement being made limited to two (2) site visits, and
  - D. Upon completion of the project, AVCON will perform a substantial completion and final walk-through visit and provide a statement, based on periodic construction observations at key times during construction, that the culvert was constructed in substantial conformance with contract documents.

Our proposed fee is outlined on the attached spreadsheet. Thank you for considering AVCON for your consulting needs, we look forward to working with you on this project.

Sincerely,  
AVCON, Inc.

*RVB*  
Rick V. Baldocchi, P.E.  
Vice President

GREENWAY IMPROVEMENT DISTRICT  
*Richard [Signature]* 10.15.19  
CHAIRMAN DATE

**Consultant: AVCON, INC.**

No./ACTIVITY	DESIGN								TOTAL			
	Principal		Project Manager		Project Engineer		Designer/CADD		Clerical		Man-hours By Activity	Salary By Activity
	Man Hours	Hourly Rate	Man Hours	Hourly Rate	Man Hours	Hourly Rate	Man Hours	Hourly Rate	Man Hours	Hourly Rate		
Box Culvert Design Phase (1 Crossing Location)												
Meeting Attendance (1)	0.00	225.00	4.00	160.00	0.00	120.00	0.00	110.00	0.00	60.00	4	640.00
Roadway/Geotechnical Design Coordination	0.00	225.00	1.00	160.00	2.00	120.00	0.00	110.00	0.00	60.00	3	400.00
90% CDs Submittal	0.00	225.00	1.00	160.00	8.00	120.00	16.00	110.00	1.00	60.00	26	2,940.00
90% CDs Review Comments	1.00	225.00	1.00	160.00	2.00	120.00	0.00	110.00	1.00	60.00	5	685.00
100% CDs Submittal	0.00	225.00	1.00	160.00	2.00	120.00	8.00	110.00	1.00	60.00	12	1,340.00
QA/QC	1.00	225.00	1.00	160.00	1.00	120.00	1.00	110.00	0.00	60.00	4	615.00
Sub-Total											54	\$6,620.00
Box Culvert Post Design Phase												
Response to Contractor RFIs	0.00	225.00	2.00	160.00	0.00	120.00	0.00	110.00	0.00	60.00	2	320.00
Review Shop Drawings	0.00	225.00	2.00	160.00	4.00	120.00	0.00	110.00	0.00	60.00	6	800.00
Site Visits (2)	0.00	225.00	8.00	160.00	8.00	120.00	0.00	110.00	0.00	60.00	16	2,240.00
Substantial Completion and Closeout Letter	0.50	225.00	2.00	160.00	0.00	120.00	0.00	110.00	1.00	60.00	4	492.50
Sub-Total											28	\$3,852.50
Total Man-hours      Total Salary [(MHxHR)]	3		23		27		25		4		62	\$10,472.50

## GREENWAY IMPROVEMENT DISTRICT

## Recommendation for Work Authorization / Proposed Services

Project Name: GID – Centerline Drive Segment A & BBrief Description: Underground locates for Centerline Drive Road Construction Plans.  
  
  
Name of Consultant /Vendor: Central Florida Locating, Inc.Is this work pursuant to an existing Agreement? ✓ Yes        NoIf so, name and date of Agreement: Is this project included in the District Capital Improvement Plan? ✓ Yes        NoAre the services required contemplated in the Capital Improvement Plan? ✓ Yes        NoIs this a continuation of previously authorized work?        Yes ✓ NoProposal attached: ✓ Yes        NoForm of Agreement Utilized: ProposalAmount of Services: \$ 7,855.00Recommendation: ✓ Approve        DenyBy:  10/15/19  
Larry Kaufmann, Chairman  
Greenway Improvement District Construction Committeec: Jennifer Walden  
Tucker Mackie  
Jeffrey Newton  
Lynne Mullins





PO Box 1468  
Bushnell, FL 33513  
833-229-2227  
cfl-inc.com

Central Florida Locating, Inc.  
d/b/a CFL Geological Solutions

Date: 9-20-19

Client: Greenway Improvement District, 12051 Corporate Blvd, Orlando, FL 32817

Attn: Mr. Richard Levey, Chairman, Board of Supervisors

E-Mail: Scott Grossman, PSM, Senior Vice President, Donald W. McIntosh Associates, Inc. <[sgrossman@dwma.com](mailto:sgrossman@dwma.com)>

Project: Centerline Drive Segments A & B – Nemours Pkwy & Tavistock Lk Blvd, Orlando, FL

CFL 19259 REV 1

CFL is pleased to provide a revised proposal to Greenway Improvement District based upon scope of services requested by Scott Grossman of D.W. McIntosh Associates (DWMA), may be subject to change should the requirements change, is valid for thirty (30) days from date of proposal, and is Non-Transferrable.

**SCOPE OF SERVICES - See Page 2 for Information/Limitations**

**Geophysical Horizontal Utility Locating: 2D Ground Penetrating Radar (GPR) and Electromagnetic (EM)**

- CFL will utilize 2D GPR and EM technologies to horizontally locate underground utilities within the 3 red outlined areas (Segments A & B) as shown on the attached image. The exact locate areas will need to be designated at time of work by DWMA.
- CFL will use paint and flags to mark located utilities.
- CFL will provide a technician's field drawing of located utilities.
- CFL's scope of services does not include the locating of abandoned utilities that are no longer locatable, vacant conduits, gravity sewer, storm lines, small irrigation lines, and low voltage lines.
- Client is responsible for ensuring that all electrical and lighting systems are energized and that all lights with outdoor light sensor systems are in use at time of locate work.

**Notes:**

- If available, CFL requests that client provide as-builts, engineering prints, etc. of existing utilities.
- GPR Scans & EM Locating can only be performed in accessible areas that are clear of obstacles such as construction materials, pipes, vehicles, machinery, dirt/materials mounds, landscaping, trees, uneven terrain, water, etc.
- If needed, CFL can provide a quote for additional detection technologies such as 3D GPR, 3D GPR Array, Magnetometer, and Direct Pushes that typically provide additional/more comprehensive data.

**Vertical Excavations – Dirt Soft Digs See Item E for Soft Dig Information/Limitations.**

CFL will vertically expose up to 8 horizontally located utilities within sites to be designated by DWMA.

**WEEKDAY DAYTIME COST**

Geophysical Horizontal Locating: ----- \$ 5,655.00

Vertical Excavations – Up to 8 Dirt Soft Digs – (5 Hole Minimum Charge Applicable) ----- \$ 2,200.00\*

\*Dirt Soft Digs over 8 will be invoiced at \$275.00 per hole.

**PAYMENT**

- A Lump Sum invoice will be submitted via e-mail to client upon completion of locate work.
- Lump Sum amount is due in full with no job retainage.
- Payments not received within 30 days of date of invoice may result in legal actions.

**SCHEDULE**

A work start date will be provided upon receiving an Authorization to Proceed.

Regards,

*Sandra Rickerson*

Sandra Rickerson, President  
Central Florida Locating, Inc.

**AUTHORIZATION TO PROCEED (ATP) – Executed CFL Proposal**

ATP - Client legally authorizes CFL to proceed and acknowledges that scope of services, compensation, payment terms, and terms and conditions in this proposal are accepted.

Client: Greenway Improvement District

Date: 10.15.19

By:   
Authorized Agent's Signature

Printed Name: RICHARD LEVEY  
Printed Name of Authorized Agent

Job Number/Name (If Applicable):

E-MAIL Address for Invoice:

E-MAIL EXECUTED DOCUMENT TO: [Contracts@cfl-inc.com](mailto:Contracts@cfl-inc.com)

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## Terms and Conditions

Central Florida Locating, Inc.  
dba CFL Geological Solutions

Page 2

### **(A) LIMITS OF GPR AND ELECTROMAGNETIC SERVICES: If Services are Provided**

CFL will make every effort to horizontally detect the underground utilities, objects or voids described in the Scope of Work or as requested at the time of work within the designated work area(s). However, CFL cannot mark utilities/objects/voids that are undetectable. Therefore, CFL **cannot guarantee** that all subsurface utilities/objects/voids will be accounted for. Locate limitations that CFL will not be held liable for include but are not limited to:

- **GROUND PENETRATING RADAR (GPR):**
  - GPR investigations are highly site specific and can be limited by attenuation of GPR signals by subsurface materials.
  - GPR investigations are limited by uneven terrain conditions, bushes, trees, debris, etc.
  - All vertically stacked utilities/objects may not be detected since GPR signals are reflected by the top most utility/object.
  - Some utilities/objects may not return a reflected signal to the GPR receiver.
  - GPR scans cannot be made immediately next to buildings/objects due to equipment restrictions.
  - Pipes with little or no liquid content at time of locate work may not be detected with GPR.
- **ELECTROMAGNETIC LOCATING :**
  - The number of access points within designated locate area(s) may be limited or non-existent.
  - Utility or property owner may restrict or deny the use of utility access points.
  - Utility may not adequately carry the imposed current from the electromagnetic locate equipment.
  - Fiber & other non-metallic lines with no or non-working tracer wire are untoneable with electromagnetic locate equipment.

### **(B) DESIGN ENGINEER and CONTRACTORS**

Due to locate limitations, the client's/owner's Design Engineer is expected to gather and identify existing facility information from various prints and underground facility owners/operators to confirm that no other subsurface utilities/objects are present in the project area, and Contractors are responsible to abide by Florida Statutes 556.106 - Sunshine 811.

### **(C) FIELD DRAWINGS/PRINTS/REPORTS**

CFL is not liable for any print, survey, field drawing or report that identifies or fails to identify CFL detected utilities or objects. CFL field drawings represent the requested scope of services within designated area(s) as of date of work; may not reflect a comprehensive utility survey of all subsurface utilities/objects; are not technical drawings created by a professional such as surveyor, engineer, or draftsman; are not drawn to scale and only depict an approximate location of referenced utilities/objects; are not created based on any type of drawing standards; and are for informational purposes only.

### **(D) MACHINE DEPTHS: If Service is Provided**

Machine depths are approximate readings, **are not guaranteed depths**, are provided for informational purposes only, and should not be relied upon for any type of subsurface work. CFL will not accept any responsibility for actions taken based on provided machine depths.

### **(E) VERTICAL EXCAVATION (DIRT SOFT DIG): Information/Limitations: If Service is Provided**

Soft Digs are made within grassed or otherwise unpaved surface conditions to a maximum depth of approximately 8 feet to determine the depth of the utility/object. If requested, CFL also will provide the size and material type.

- Soft Dig vertical depth measurements are made from the top of each exposed utility/object to the ground surface.
- The vertical depth range and visual inspection ability is dependent on events such as ground water level.
- Client must obtain/provide CFL with any required soft dig permits before soft dig work is performed. Client will be responsible for any permitting soft dig fines assessed by governing agency.

### **(F) CORE BORE WITH VERTICAL EXCAVATION (DIRT SOFT DIG): Information/Limitations: If Service is Provided**

A Core Bore is made in asphalt or concrete to vertically expose a utility/object to determine the depth of the utility/object from the top of the utility/object to the pavement surface.

- Vertical Excavation limits apply (See Item E).
- Test hole will be backfilled with like materials compacted in 6" lifts or with a flowable fill mixture.
- The current asphalt thickness will be replaced with double asphalt thickness.
- **Asphalt/Concrete Core Bore Permits are to be furnished to CFL by the client prior to work being scheduled.** Client is responsible for cost of all permits, MOT, Traffic Control, and any permitting fines assessed by governing agency.

### **(G) DIRECT PUSH SOIL SAMPLING: Information/Limitations: If Service is Provided**

Direct Push Soil Sampling limitations that CFL will not be held liable for include but are not limited to:

- Direct push rods may not penetrate to desired depth due to subsurface sediment and/or material hardness.
- Direct push rods may not penetrate through consolidated sediment, rock and/or debris.

### **(H) CERTIFICATE OF INS (COI): New/Revised COI Requests**

- Client COI requirements must be provided to CFL prior to the Authorization to Proceed being issued.
- CFL will invoice client for all costs associated with client COI requirements that incur billable charges to CFL.

***Innovative and Reliable Solutions***

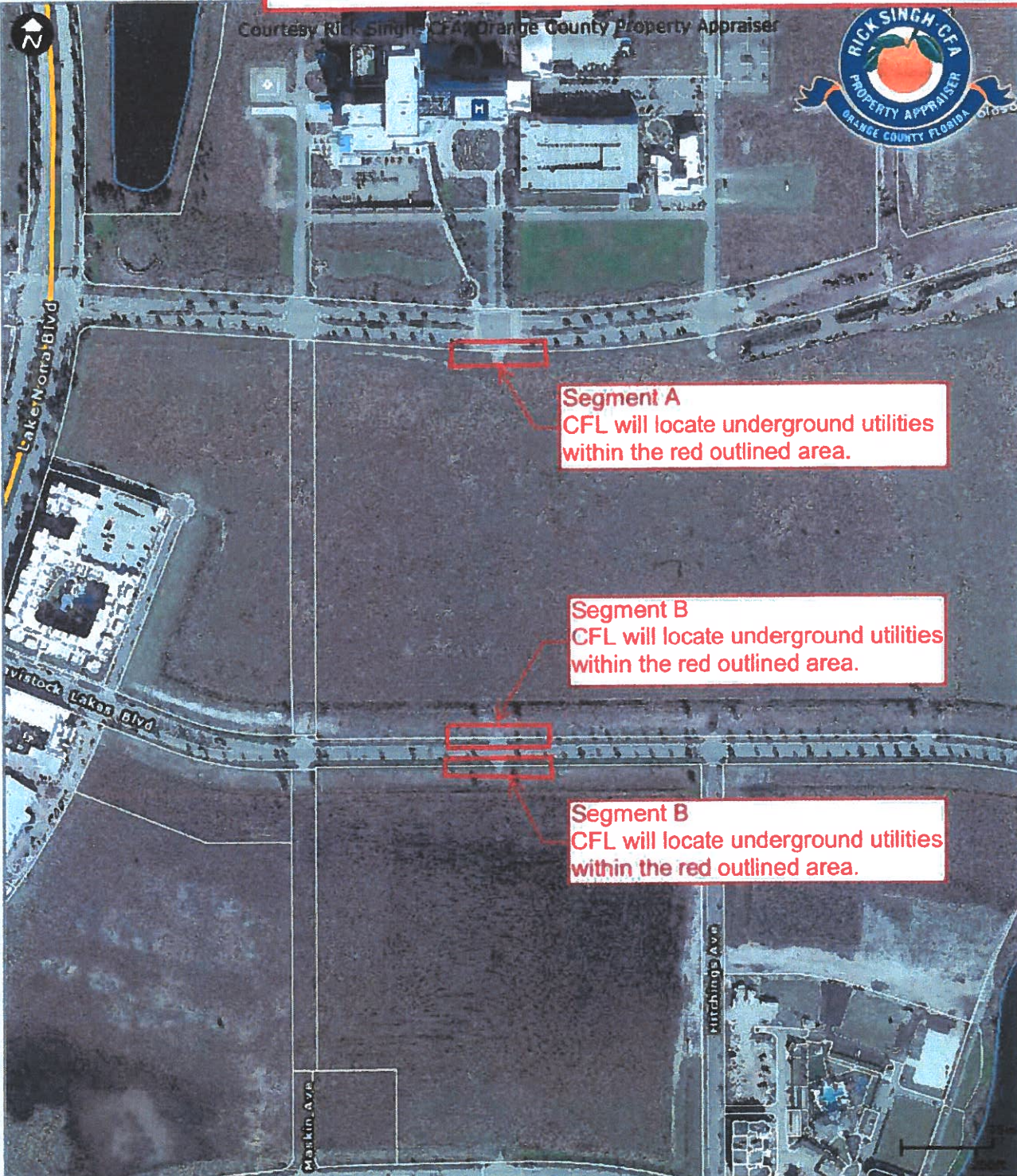


OCPA Web Map



**CFL Utility Locate Site:  
Nemours Pkwy and Tavistock Lk Blvd  
Orlando, FL  
Centerline Drive Segments A & B Locations**

Courtesy Rick Singh, CFA, Orange County Property Appraiser



**Segment A**  
CFL will locate underground utilities within the red outlined area.

**Segment B**  
CFL will locate underground utilities within the red outlined area.

**Segment B**  
CFL will locate underground utilities within the red outlined area.

Created: 9/14/2019

This map is for reference only and is not a survey.

**EXHIBIT A  
WORK SCOPE AUTHORIZATION/AGREEMENT LETTER FORM**

9-20-19

Greenway Improvement District  
12051 Corporate Blvd  
Orlando, Florida 32817

Subject: Central Florida Locating, Inc. – Proposal 19259 REV 1 – Centerline Drive Segments A & B

Consultant submits this work authorization to provide Services Greenway Improvement District. We will provide these services pursuant to our current Agreement dated September 20, 2019 ("Agreement") as follows:

**I. Scope of Work**

_____	A. (GPR of Centerline Dr Segments A & B)	\$5,655.00
[Code]		
_____	B. (Vertical Excavations -Dirt)	\$2,200.00
[Code]		
_____	C. (insert work description)	\$
<b>TOTAL</b> _____		<b>\$7,855.00</b>

**II. Compensation**

Consultant will be compensated for this work at the quoted lump sum amount or at the hourly rates and direct costs established pursuant to the Agreement.

This Work Scope Authorization, together with the Agreement, represents the entire understanding between Greenway Improvement District and Consultant with regard to the referenced Work Authorization. If you wish to accept this Work Authorization, please sign both copies where indicated and return one complete copy to our office (executed electronic scanned copies are acceptable). Upon receipt, we will promptly schedule our services.

Sincerely,

By: Sandra Pickens  
Title: President

APPROVED AND ACCEPTED

Richard J. Jeter  
[Signature]  
[Name and Title] CHAIRMAN

10.15.19  
[Date]

\_\_\_\_\_  
[Company]

\_\_\_\_\_  
[Project No.]

\_\_\_\_\_  
[Work Authorization No.]



## GREENWAY IMPROVEMENT DISTRICT

## Recommendation for Work Authorization / Proposed Services

Project Name: GID – Centerline Drive Segment C & DBrief Description: Underground locates for Centerline Drive Road Construction Plans.  
  
  
Name of Consultant /Vendor: Central Florida Locating, Inc.

Is this work pursuant to an existing Agreement?

☒ Yes ☐ No

If so, name and date of Agreement: \_\_\_\_\_

Is this project included in the District Capital Improvement Plan?

☒ Yes ☐ No

Are the services required contemplated in the Capital Improvement Plan?

☒ Yes ☐ No

Is this a continuation of previously authorized work?

☐ Yes ☒ No

Proposal attached:

☒ Yes ☐ NoForm of Agreement Utilized: Proposal

Amount of Services:

\$ 15,395.00

Recommendation:

☒ Approve ☐ Deny

By:

 10/15/19

Larry Kaufmann, Chairman

Greenway Improvement District Construction Committee

c: Jennifer Walden  
Tucker Mackie  
Jeffrey Newton  
Lynne Mullins



PO Box 1468  
Bushnell, FL 33513  
833-229-2227  
cfl-inc.com

Central Florida Locating, Inc.

DBA CFL Geological Solutions

Date: 9-20-19

Client: Greenway Improvement District, 12051 Corporate Blvd, Orlando, FL 32817

Attn: Mr. Richard Levey, Chairman, Board of Supervisors

E-Mail: Scott Grossman, PSM, Senior Vice President, Donald W. McIntosh Associates, Inc. <[sgrossman@dwma.com](mailto:sgrossman@dwma.com)>

Project: Centerline Drive Segment C – Centerline Cr. & Laureate Blvd, Orlando, FL;

Centerline Drive Segment D – Centerline Dr & Kellogg Ave, Orlando, FL

CFL 19258 REV 1

CFL is pleased to provide a revised proposal to Greenway Improvement District based upon scope of services requested by Scott Grossman of D.W. McIntosh Associates (DWMA), may be subject to change should the requirements change, is valid for thirty (30) days from date of proposal, and is Non-Transferrable.

#### SCOPE OF SERVICES - See Page 2 for Information/Limitations

##### Geophysical Horizontal Utility Locating: 2D Ground Penetrating Radar (GPR) and Electromagnetic (EM)

- CFL will utilize 2D GPR and EM technologies to horizontally locate underground utilities within the 3 red outlined areas (Segments C & D) as shown on the attached images. The exact locate areas will need to be designated at time of work by DWMA.
  - Segment D Note: Information provided to CFL does not show utilities running west of the intersection within the red outlined area. CFL's proposal is based on this information. If utilities are found during horizontal locating, CFL will submit a Change Order for additional locate time.
- CFL will use paint and flags to mark located utilities and will provide a technician's field drawing of located utilities.
- CFL's scope of services does not include the locating of abandoned utilities that are no longer locatable, vacant conduits, gravity sewer, storm lines, small irrigation lines, and low voltage lines.
- Client is responsible for ensuring that all electrical and lighting systems are energized and that all lights with outdoor light sensor systems are in use at time of locate work.

##### Notes:

- If available, CFL requests that client provide as-builts, engineering prints, etc. of existing utilities.
- GPR Scans & EM Locating can only be performed in accessible areas that are clear of obstacles such as construction materials, pipes, vehicles, machinery, dirt/materials mounds, landscaping, trees, uneven terrain, water, etc.
- If needed, CFL can provide a quote for additional detection technologies such as 3D GPR, 3D GPR Array, Magnetometer, and Direct Pushes that typically provide additional/more comprehensive data.

##### Vertical Excavations – Dirt Soft Digs See Item E for Soft Dig Information/Limitations.

CFL will vertically expose up to 8 horizontally located utilities within sites to be designated by DWMA.

##### WEEKDAY DAYTIME COST

Geophysical Horizontal Locating: -----\$13,195.00

Vertical Excavations – Up to 8 Dirt Soft Digs – (5 Hole Minimum Charge Applicable) -----\$ 2,200.00\*

\*Dirt Soft Digs over 8 will be invoiced at \$275.00 per hole.

##### PAYMENT

- A Lump Sum invoice will be submitted via e-mail to client upon completion of locate work.
- Lump Sum amount is due in full with no job retainage.
- Payments not received within 30 days of date of invoice may result in legal actions.

##### SCHEDULE

A work start date will be provided upon receiving an Authorization to Proceed.

Regards,

*Sandra Rickerson*

Sandra Rickerson, President  
Central Florida Locating, Inc.

##### AUTHORIZATION TO PROCEED (ATP) – Executed CFL Proposal

ATP - Client legally authorizes CFL to proceed and acknowledges that scope of services, compensation, payment terms, and terms and conditions in this proposal are accepted.

Client: Greenway Improvement District

Date: 10-15-19

By: *Richard Levey*

Authorized Agent Signature

Printed Name: Richard Levey

Printed Name of Authorized Agent

Job Number/Name (If Applicable):

E-MAIL Address for Invoice:

E-MAIL EXECUTED DOCUMENT TO: [Contracts@cfl-inc.com](mailto:Contracts@cfl-inc.com)

**Innovative and Reliable Solutions**



Central Florida Locating, Inc.  
dba CFL Geological Solutions

## Terms and Conditions

Page 2

### **(A) LIMITS OF GPR AND ELECTROMAGNETIC SERVICES: If Services are Provided**

CFL will make every effort to horizontally detect the underground utilities, objects or voids described in the Scope of Work or as requested at the time of work within the designated work area(s). However, CFL cannot mark utilities/objects/voids that are undetectable. Therefore, CFL **cannot guarantee** that all subsurface utilities/objects/voids will be accounted for. Locate limitations that CFL will not be held liable for include but are not limited to:

- **GROUND PENETRATING RADAR (GPR):**
  - GPR investigations are highly site specific and can be limited by attenuation of GPR signals by subsurface materials.
  - GPR investigations are limited by uneven terrain conditions, bushes, trees, debris, etc.
  - All vertically stacked utilities/objects may not be detected since GPR signals are reflected by the top most utility/object.
  - Some utilities/objects may not return a reflected signal to the GPR receiver.
  - GPR scans cannot be made immediately next to buildings/objects due to equipment restrictions.
  - Pipes with little or no liquid content at time of locate work may not be detected with GPR.
- **ELECTROMAGNETIC LOCATING :**
  - The number of access points within designated locate area(s) may be limited or non-existent.
  - Utility or property owner may restrict or deny the use of utility access points.
  - Utility may not adequately carry the imposed current from the electromagnetic locate equipment.
  - Fiber & other non-metallic lines with no or non-working tracer wire are untoneable with electromagnetic locate equipment.

### **(B) DESIGN ENGINEER and CONTRACTORS**

Due to locate limitations, the client's/owner's Design Engineer is expected to gather and identify existing facility information from various prints and underground facility owners/operators to confirm that no other subsurface utilities/objects are present in the project area, and Contractors are responsible to abide by Florida Statutes 556.106 - Sunshine 811.

### **(C) FIELD DRAWINGS/PRINTS/REPORTS**

CFL is not liable for any print, survey, field drawing or report that identifies or fails to identify CFL detected utilities or objects. CFL field drawings represent the requested scope of services within designated area(s) as of date of work; may not reflect a comprehensive utility survey of all subsurface utilities/objects; are not technical drawings created by a professional such as surveyor, engineer, or draftsman; are not drawn to scale and only depict an approximate location of referenced utilities/objects; are not created based on any type of drawing standards; and are for informational purposes only.

### **(D) MACHINE DEPTHS: If Service Is Provided**

Machine depths are approximate readings, **are not guaranteed depths**, are provided for informational purposes only, and should not be relied upon for any type of subsurface work. CFL will not accept any responsibility for actions taken based on provided machine depths.

### **(E) VERTICAL EXCAVATION (DIRT SOFT DIG): Information/Limitations: If Service Is Provided**

Soft Digs are made within grassed or otherwise unpaved surface conditions to a maximum depth of approximately 8 feet to determine the depth of the utility/object. If requested, CFL also will provide the size and material type.

- Soft Dig vertical depth measurements are made from the top of each exposed utility/object to the ground surface.
- The vertical depth range and visual inspection ability is dependent on events such as ground water level.
- Client must obtain/provide CFL with any required soft dig permits before soft dig work is performed. Client will be responsible for any permitting soft dig fines assessed by governing agency.

### **(F) CORE BORE WITH VERTICAL EXCAVATION (DIRT SOFT DIG): Information/Limitations: If Service Is Provided**

A Core Bore is made in asphalt or concrete to vertically expose a utility/object to determine the depth of the utility/object from the top of the utility/object to the pavement surface.

- Vertical Excavation limits apply (See Item E).
- Test hole will be backfilled with like materials compacted in 6" lifts or with a flowable fill mixture.
- The current asphalt thickness will be replaced with double asphalt thickness.
- **Asphalt/Concrete Core Bore Permits are to be furnished to CFL by the client prior to work being scheduled.**  
Client is responsible for cost of all permits, MOT, Traffic Control, and any permitting fines assessed by governing agency.

### **(G) DIRECT PUSH SOIL SAMPLING: Information/Limitations: If Service Is Provided**

Direct Push Soil Sampling limitations that CFL will not be held liable for include but are not limited to:

- Direct push rods may not penetrate to desired depth due to subsurface sediment and/or material hardness.
- Direct push rods may not penetrate through consolidated sediment, rock and/or debris.

### **(H) CERTIFICATE OF INS (COI): New/Revised COI Requests**

- Client COI requirements must be provided to CFL prior to the Authorization to Proceed being issued.
- CFL will invoice client for all costs associated with client COI requirements that incur billable charges to CFL.

***Innovative and Reliable Solutions***

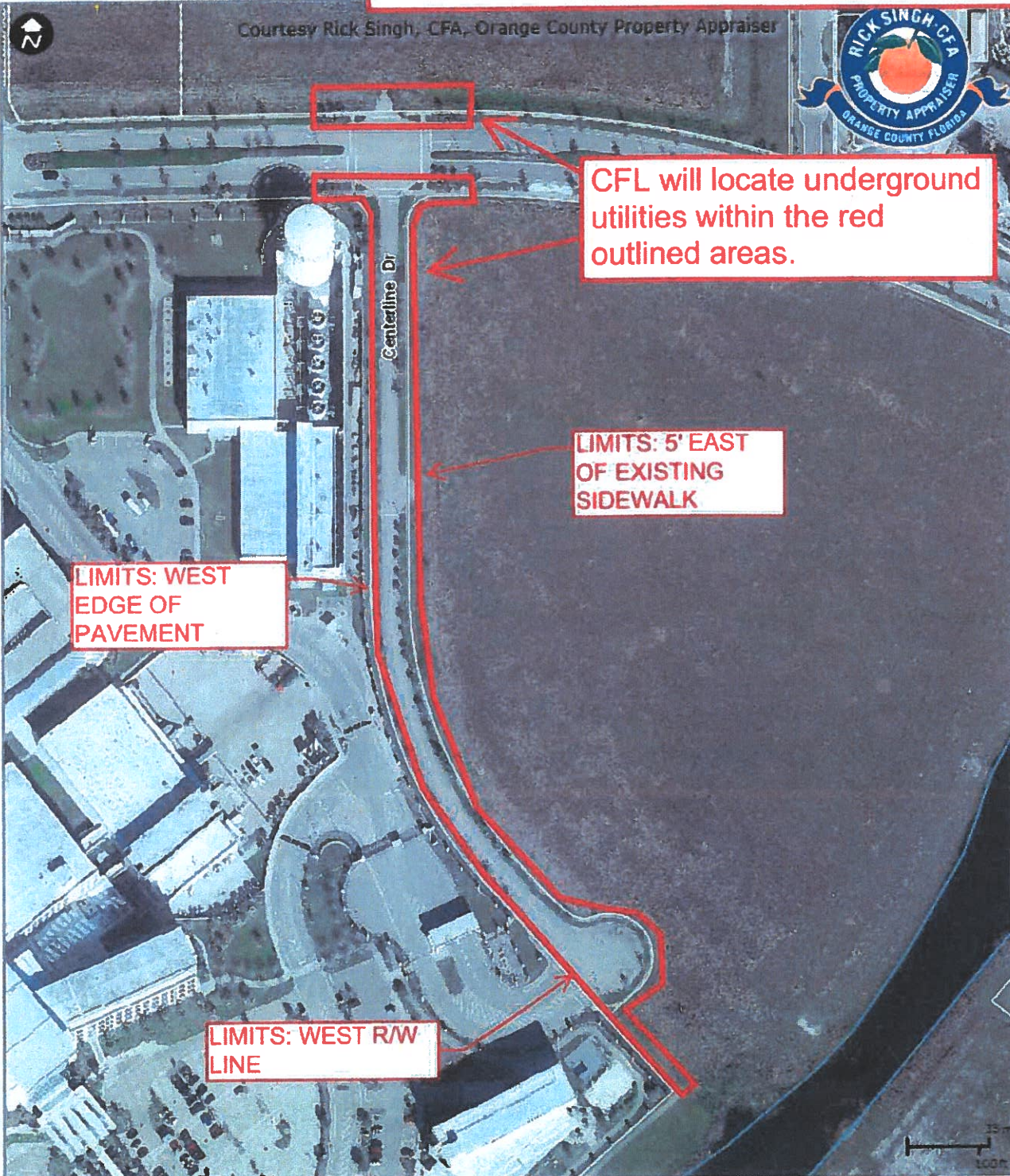


OCPA Web Map

- |                  |                         |                  |
|------------------|-------------------------|------------------|
| Florida Turnpike | Major Roads             | Proposed Roads   |
| Interstate 4     | Public Roads            | Bridges          |
| Toll Road        | Gated Roads             | Railroads        |
|                  | Road Under Construction | Proposed Streets |

**CFL Utility Locate Site:  
Centerline Cr. and Laureate Blvd  
Orlando, FL  
Centerline Drive Segment C Location**

Courtesy Rick Singh, CFA, Orange County Property Appraiser



CFL will locate underground utilities within the red outlined areas.

LIMITS: 5' EAST OF EXISTING SIDEWALK

LIMITS: WEST EDGE OF PAVEMENT

LIMITS: WEST R/W LINE



OCPA Web Map



Interstate 4

Toll Road

Major Roads

Public Roads

Gated Roads

Road Under Construction

**CFL Utility Locate Site:  
Centerline Dr and Kellogg Ave  
Orlando, FL  
Centerline Drive Segment D Location**

Courtesy Rick Singh, CFA, Orange County Property Appraiser



**CFL will locate underground utilities within the red outlined area.**

*\*Note: Information provided to CFL does not show utilities running west of the intersection within the red outlined area. CFL's proposal is based on this information. If utilities are found during horizontal locating, CFL will submit a Change Order for additional locate time.*

Created: 9/14/2019

This map is for reference only and is not a survey.

**EXHIBIT A**  
**WORK SCOPE AUTHORIZATION/AGREEMENT LETTER FORM**

9-20-19

Greenway Improvement District  
12051 Corporate Blvd  
Orlando, Florida 32817

Subject: Central Florida Locating, Inc. – Proposal 19258 REV 1 – Centerline Drive Segments C & D

Consultant submits this work authorization to provide Services Greenway Improvement District. We will provide these services pursuant to our current Agreement dated September 20, 2019 ("Agreement") as follows:

**I. Scope of Work**

_____	A. (GPR of Centerline Dr Segments C & D)	\$13,195.00
[Code]		
_____	B. (Vertical Excavations -Dirt)	\$2,200.00
[Code]		
_____	C. (insert work description)	\$
<b>TOTAL</b> -----		<b>\$15,395.00</b>

**II. Compensation**

Consultant will be compensated for this work at the quoted lump sum amount or at the hourly rates and direct costs established pursuant to the Agreement.

This Work Scope Authorization, together with the Agreement, represents the entire understanding between Greenway Improvement District and Consultant with regard to the referenced Work Authorization. If you wish to accept this Work Authorization, please sign both copies where indicated and return one complete copy to our office (executed electronic scanned copies are acceptable). Upon receipt, we will promptly schedule our services.

Sincerely,

By: Sandra Rickman  
Title: President

**APPROVED AND ACCEPTED**

\_\_\_\_\_  
[Signature]  
Richard Levy-Cham  
[Name and Title]  
\_\_\_\_\_  
[Project No.]

10.15.19  
\_\_\_\_\_  
[Date]  
\_\_\_\_\_  
[Company]  
\_\_\_\_\_  
[Work Authorization No.]



**DONALD W. MCINTOSH  
ASSOCIATES, INC.**

# MEMORANDUM

DATE: October 15, 2019

TO: Greenway Improvement District  
Board of Supervisors

FROM: Donald W. McIntosh Associates, Inc.  
District Engineer

RE: Construction Contract Status

Dear Board Members,

Please accept this correspondence as a current summary of our construction contract status. Listed below by project is a brief summary of recent contract activity. Copies of the latest Change Order logs are attached.

CIVIL ENGINEERS

LAND PLANNERS

SURVEYORS

## Nemours Parkway Phase 6 – Jr. Davis Construction, Inc. / BrightView

**Construction Status:** Jr. Davis Construction completed the erosion repair on 10/9/19. Repairs to damaged sidewalk, landscape and hardscape are scheduled for the week of 10/14/19. Punch list walk is anticipated 10/18/19.

**Change Order (C.O.) Status:** None at this time.

**Recommended Motion:** None at this time.

## Nemours Parkway Phase 7 – Jr. Davis Construction, Inc.

**Construction Status:** The roadway has been fully paved and striping, landscaping and asphalt trail are complete. The lift station is substantially complete and start up is pending OUC electric installation, which is currently anticipated in early-November. Substantial completion of the project is anticipated in late-November.

**Change Order (C.O.) Status:** Change Order No. 4 in the additive amount of \$49,204.52 for landscape and irrigation revisions, as reviewed and approved by Dix+Hite.

**Recommended Motion:** Approve Change Order No. 4 in the additive amount of \$49,204.52.

2200 Park Ave. North

Winter Park, FL

32789-2355

Fax 407-644-8318

407-644-4068

F:\Proj2003\23216\ENGadmin\Clec1315.docx

<http://www.dwma.com>



*Memorandum*

*Re: Greenway Improvement District  
Construction Contract Status*

*October 15, 2019*

*Page 2*

**Lake Nona Kellogg Avenue Extension – DeWitt Excavation**

**Construction Status:** A preconstruction meeting with the City took place 10/8/19 and construction of the permanent drainage pipe is to commence the week of 10/14/19. The pipe installation is anticipated to take approximately 3 weeks to complete, followed by close-out inspections and certification.

**Change Order (C.O.) Status:** None at this time.

**Recommended Motion:** None at this time.

Should there be any questions, please do not hesitate to call.

Thank you.

End of memorandum.

c: Larry Kaufmann  
Scott Thacker  
Troy Davidson  
Dan Young  
Tarek Fahmy



**LAKE NONA SOUTH  
Greenway Improvement District  
Nemours Parkway Phase 6  
Change Order Log  
Jr. Davis**

C.O. #	Date	Description of Revision	Additional Days	Amount	Status	New Contract Amount Original Contract Date 8/17/17	To Board	Approval Date	Notes
						\$2,070,587.60			
<u>1</u>	7/10/2018	8" Directional Bore	0	\$ 10,874.88	Approved	\$ 2,081,462.48	7/17/2018	7/17/2018	
<u>2</u>	6/20/2018	Culvert Rail Installation	0	\$ 13,464.00	Approved	\$ 2,094,926.48	7/17/2018	7/17/2018	
<u>3</u>	7/16/2018	OCPS sidewalk revision	30	\$ 42,220.54	Approved	\$ 2,137,147.02	7/17/2018	7/17/2018	
<u>4</u>	5/20/2019	Erosion repair and expanded protection at the north and south ends of the quad 36" culverts	0	\$ 77,713.83	Approved	\$ 2,214,860.85	5/21/2019	5/21/2019	

**LAKE NONA SOUTH  
Greenway Improvement District  
Nemours Parkway Phase 7  
Change Order Log  
Jr. Davis**

C.O. #	Date	Description of Revision	Additional Days	Amount	Status	New Contract Amount Original Contract Date	To Board	Approval Date	Notes
						<b>\$6,312,276.78</b>			
<u>1</u>	2/8/2019	Contract adjustment for revision to include scope of work for addendums/plans issued after bid date.		\$ 161,445.97	Approved	\$ 6,473,722.75	2/19/2019	2/19/2019	
<u>2</u>	5/20/2019	Add sanitary and reclaim service laterals intended to serve the Nemours Childrens's Hospital.		\$ 12,879.00	Approved	\$ 6,486,601.75	5/21/2019	5/21/2019	
<u>3</u>	9/12/2019	Contract Calendar Extension - Add 60 Days	60	\$ -	Approved	\$ 6,486,601.75	9/17/2019	9/17/2019	
<u>4</u>	9/19/2019	Landscaping and Irrigation Revisions		\$ 49,204.52	Pending	\$ 6,535,806.27	10/15/2019		

**Greenway Improvement District**  
**CONTRACT CHANGE ORDER**

Change Order No. 4

Project: Nemours Parkway Phase 7

Date 10/14/2019

Engineer: Donald W. McIntosh Associates, Inc.

Contractor: Jr. Davis Construction Company

ITEM NO.	WORK PERFORMED	DESCRIPTION OF CHANGE	AMOUNT + / (-)
1	Landscaping & Irrigation Revisions	ADD	\$ 49,204.52

Net Change Order Amount \$ 49,204.52

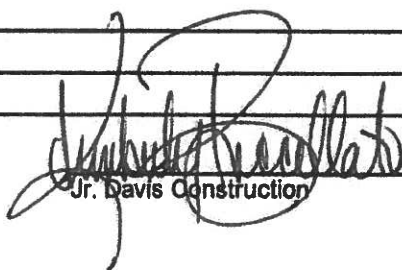
Contract Amount Prior to Change Order \$ 6,486,601.75

Revised Contract Amount \$ 6,535,806.27

**COMMENTS:**

See attached backup provided by Jr. Davis Construction Company.

Acceptable To:

  
Jr. Davis Construction

Date:

10/15/19

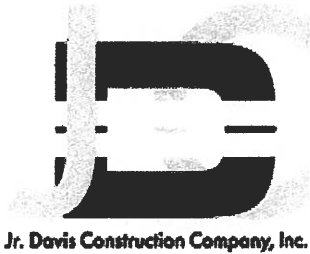
Approved By:

Greenway Improvement District

Date:

c: Jeffrey J. Newton, P.E.

# NEMOURS PARKWAY PHASE 7 LANDSCAPING & IRRIGATION REVISIONS



## JR. DAVIS CONSTRUCTION

210 S. HOAGLAND BLVD.

KISSIMMEE, FL 34741

Contact: CONOR MACNAMARA

Phone: 407-870-0066

Email: CONOR.MACNAMARA@JR-DAVIS.COM

Quote To: Greenway Improvement District

Proposal Date: 9/9/19

Date of Plans: 6/17/19

Revision Date: 7/10/19

ITEM	DESCRIPTION	QUANTITY	UNIT	UNIT PRICE	AMOUNT
<b>GENERAL CONDITIONS</b>					
110	GENERAL CONDITIONS	1.00	LS	3,831.19	3,831.19
	<b>GENERAL CONDITIONS TOTAL</b>				<b>\$3,831.19</b>
<b>RECLAIM WATER</b>					
140	ADD - IRR POC CONNECTION TO 8" MAIN*	1.00	LS	17,042.93	17,042.93
	<b>RECLAIM TOTAL</b>				<b>\$17,042.93</b>
<b>LANDSCAPE/ IRRIGATION</b>					
165	ADD - CATHEDRAL LIVE OAK 4"	3.00	EA	950.00	2,850.00
170	ADD - ROOT BARRIER	72.00	LF	10.35	745.20
175	ADD - SABAL PALM HURRICANE CUT	13.00	EA	335.00	4,355.00
180	ADD - MUHLY GRASS 3 GAL, 30" OC	1,273.00	EA	14.45	18,394.85
185	ADD - TEXAS LONGLEAF JASMINE	2,921.00	EA	4.90	14,312.90
190	CREDIT - ANNUALS	-127.00	EA	3.60	-457.20
195	CREDIT - FLORITAM, ST.AUGUSTINE SOD	-1,190.00	SY	5.10	-6,069.00
200	CREDIT - IRR CONTROLLER	-1.00	EA	12,354.00	-12,354.00
210	ADD - DUCTILE IRON FITTINGS	4.00	EA	221.00	884.00
215	ADD - VALVES REMOTE CONTROL TYPE 1-1/2"	4.00	EA	326.00	1,304.00
220	ADD - 1-1/2" LATERAL LINES	170.00	LF	2.75	467.50
225	ADD - 1-1/4" LATERAL LINES	985.00	LF	2.60	2,561.00
230	ADD - TREE SPRAY ASSY DOUBLE	1.00	EA	67.65	67.65
235	ADD - 12" POPUP HEADS	215.00	EA	25.55	5,493.25
240	CREDIT - 6" POPUP HEADS	-215.00	EA	19.65	-4,224.75
	<b>LANDSCAPE/ IRRIGATION TOTAL</b>				<b>\$28,330.40</b>
<b>GRAND TOTAL</b>					<b>\$49,204.52</b>

### NOTES:

THIS PROPOSAL IS INCLUSIVE OF CHANGES PER THE REVISED LANDSCAPING DRAWINGS RECEIVED ON 6/17/19 AND SUBSEQUENT IRRIGATION ALTERATIONS PER MARKUP APPROVED ON 7/4/19.

\*PROPOSAL ALSO INCLUDES THE RECLAIMED WATER, TAPPING SLEEVE, VALVES, IRRIGATION POC &



ABOVE GROUND BACKFLOW ASSEMBLY ADDED IN THE REVISIONS TO THE CIVIL PLANS DATED 7/10/19.

JDC Reference:1961RFC004

CC:TBD

# NEMOURS PARKWAY PHASE 7

LANDSCAPE AND IRRIGATION PLANS - ISSUE FOR PERMIT  
CITY OF ORLAND CASE NO.ENG2018-11778

Prepared For GREENEWAY IMPROVEMENT DISTRICT  
February 13, 2018

△ Revised May 29, 2018

△ Revised September 04, 2018

△ Revised May 24, 2019

FOR REFERENCE SEE PERMIT NO. ENG2018-10209

TABLE OF CONTENTS	
SHEET NUMBER	SHEET NAME
LA5.00	COVER SHEET
LA5.01	KEY SHEET
LA5.10 - LA5.12	LANDSCAPE PLANS
LA5.90	LANDSCAPE NOTES AND PLANT LIST
LA5.91	LANDSCAPE DETAILS
LA5.99	LANDSCAPE SPECIFICATIONS
LA6.01	KEY SHEET
LA6.10 - LA6.12	IRRIGATION PLANS
LA6.90	IRRIGATION LEGEND, TABLE & NOTES
LA6.91	IRRIGATION DETAILS
LA6.99	IRRIGATION SPECIFICATIONS

Date:	06/20/18
Drawn by:	SLA
Reviewed by:	FTD
Job Number:	21666.4
Revision:	Date:
△	05/29/2018
△	09/04/2018
△	05/24/2019

NEMOURS PARKWAY PHASE 7  
ORLANDO, FL

GREENEWAY IMPROVEMENT DISTRICT  
6900 TAVISTOCK BOULEVARD, ORLANDO, FL

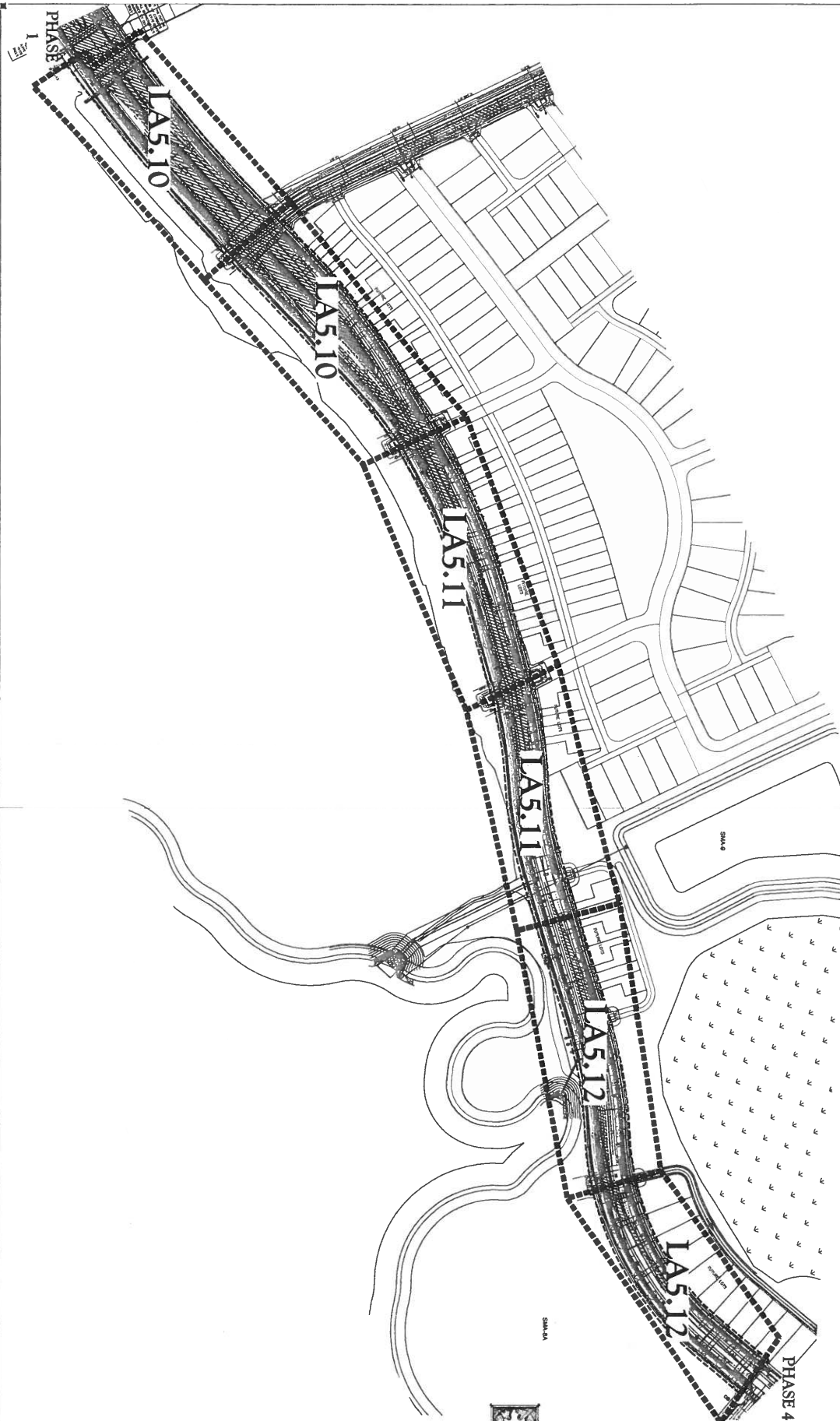


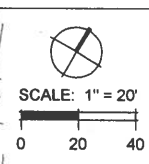
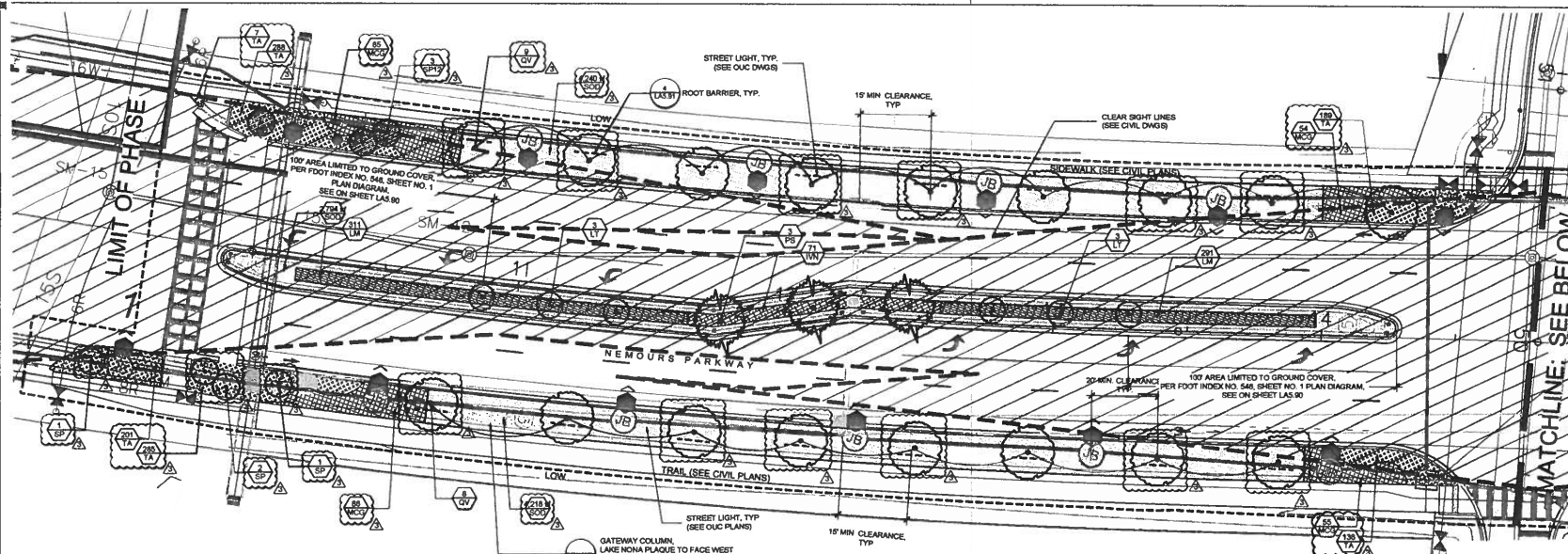
DIX-HITE  
PARTNERS  
180 W. ALBANY AVENUE  
ORLANDO, FL 32804-1177  
TEL: 407.241.1777

100% LANDSCAPE PLANS

Cover Sheet

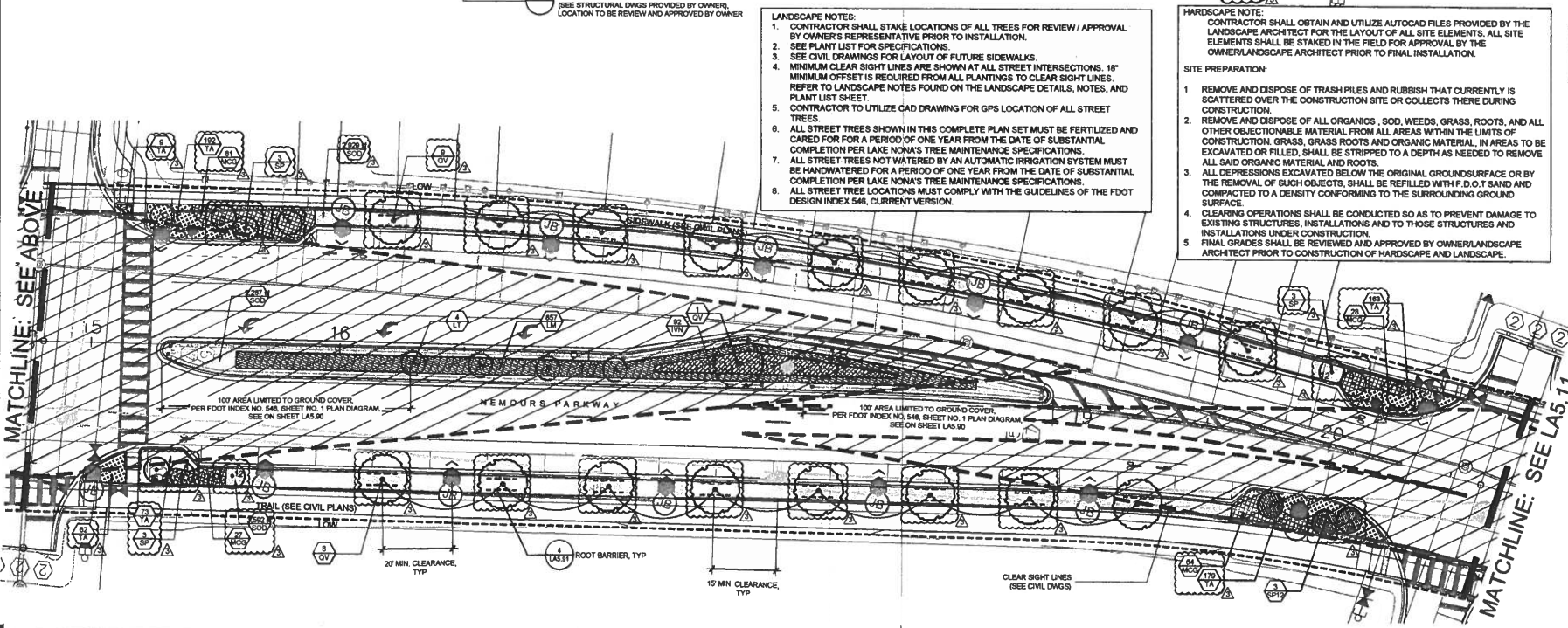
Sheet Number:  
**LA5.00**





Date:	06/18/18
Drawn by:	RH
Reviewed by:	JD
Job Number:	19954
Revision:	
Date:	05/25/2018
Date:	06/04/2018
Date:	05/14/2019

NEMOURS PARKWAY PHASE 7  
ORLANDO, FL  
GREENWAY IMPROVEMENT DISTRICT  
6900 TWISTLOCK BOULEVARD, ORLANDO, FL



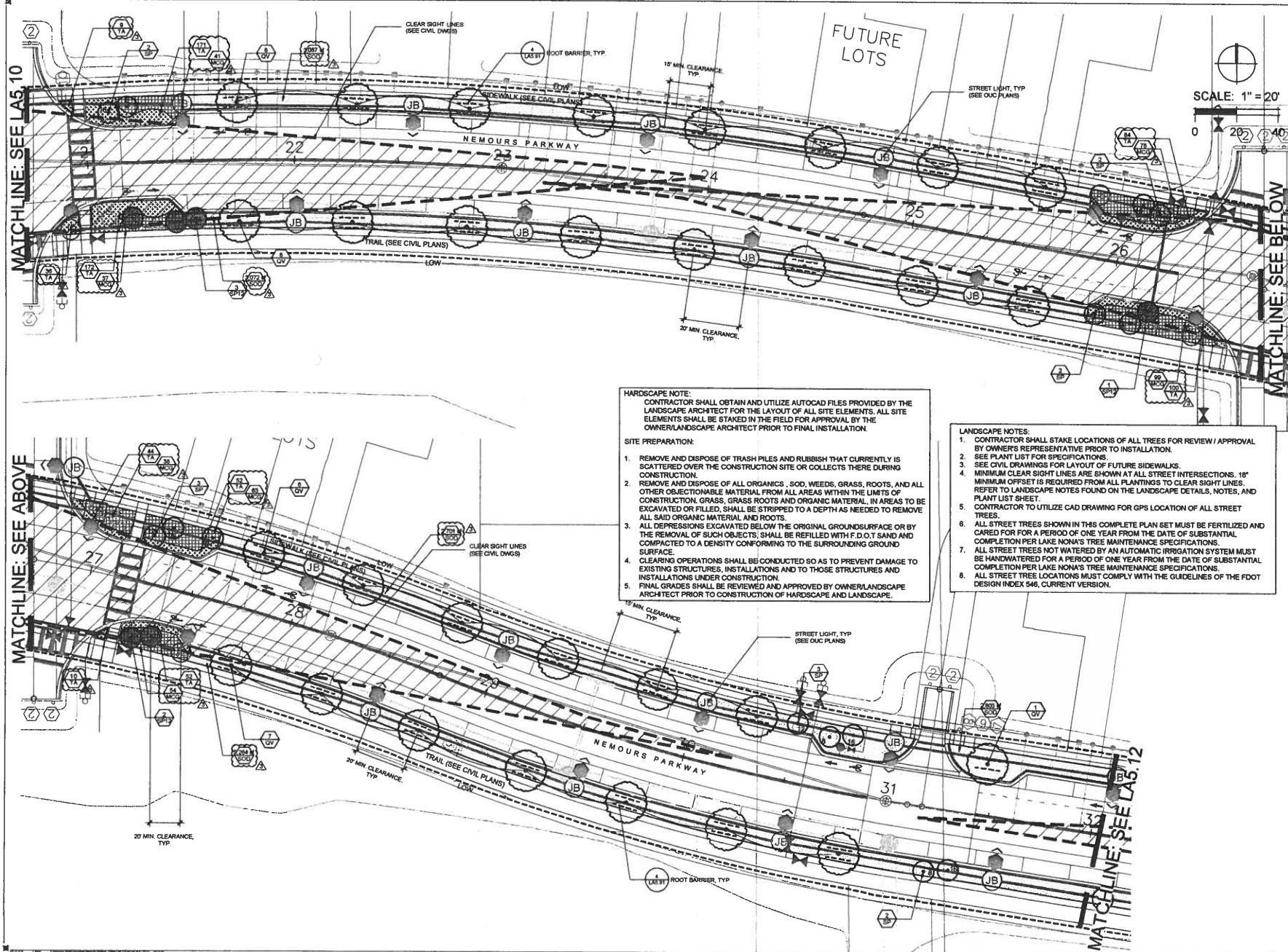
- LANDSCAPE NOTES:**
1. CONTRACTOR SHALL STAKE LOCATIONS OF ALL TREES FOR REVIEW / APPROVAL BY OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.
  2. SEE PLANT LIST FOR SPECIFICATIONS.
  3. SEE CIVIL DRAWINGS FOR LAYOUT OF FUTURE SIDEWALKS.
  4. MINIMUM CLEAR SIGHT LINES ARE SHOWN AT ALL STREET INTERSECTIONS. 18" MINIMUM OFFSET IS REQUIRED FROM ALL PLANTINGS TO CLEAR SIGHT LINES. REFER TO LANDSCAPE NOTES FOUND ON THE LANDSCAPE DETAILS, NOTES, AND PLANT LIST SHEET.
  5. CONTRACTOR TO UTILIZE CAD DRAWING FOR GPS LOCATION OF ALL STREET TREES.
  6. ALL STREET TREES SHOWN IN THIS COMPLETE PLAN SET MUST BE FERTILIZED AND CARED FOR FOR A PERIOD OF ONE YEAR FROM THE DATE OF SUBSTANTIAL COMPLETION PER LAKE NOKA'S TREE MAINTENANCE SPECIFICATIONS.
  7. ALL STREET TREES NOT WATERED BY AN AUTOMATIC IRRIGATION SYSTEM MUST BE HANDWATERED FOR A PERIOD OF ONE YEAR FROM THE DATE OF SUBSTANTIAL COMPLETION PER LAKE NOKA'S TREE MAINTENANCE SPECIFICATIONS.
  8. ALL STREET TREE LOCATIONS MUST COMPLY WITH THE GUIDELINES OF THE FDOT DESIGN INDEX 548, CURRENT VERSION.

- HARDSCAPE NOTE:**
- CONTRACTOR SHALL OBTAIN AND UTILIZE AUTOCAD FILES PROVIDED BY THE LANDSCAPE ARCHITECT FOR THE LAYOUT OF ALL SITE ELEMENTS. ALL SITE ELEMENTS SHALL BE STAKED IN THE FIELD FOR APPROVAL BY THE OWNER/LANDSCAPE ARCHITECT PRIOR TO FINAL INSTALLATION.
- SITE PREPARATION:**
1. REMOVE AND DISPOSE OF TRASH PILES AND RUBBISH THAT CURRENTLY IS SCATTERED OVER THE CONSTRUCTION SITE OR COLLECTS THERE DURING CONSTRUCTION.
  2. REMOVE AND DISPOSE OF ALL ORGANICS, SOD, WEEDS, GRASS, ROOTS, AND ALL OTHER OBJECTIONABLE MATERIAL FROM ALL AREAS WITHIN THE LIMITS OF CONSTRUCTION. GRASS, GRASS ROOTS AND ORGANIC MATERIAL, IN AREAS TO BE EXCAVATED OR FILLED, SHALL BE STRIPPED TO A DEPTH AS NEEDED TO REMOVE ALL SAID ORGANIC MATERIAL AND ROOTS.
  3. ALL DEPRESSIONS EXCAVATED BELOW THE ORIGINAL GROUND SURFACE OR BY THE REMOVAL OF SUCH OBJECTS, SHALL BE REFILLED WITH F.D.O.T SAND AND COMPACTED TO A DENSITY CONFORMING TO THE SURROUNDING GROUND SURFACE.
  4. CLEARING OPERATIONS SHALL BE CONDUCTED SO AS TO PREVENT DAMAGE TO EXISTING STRUCTURES, INSTALLATIONS AND TO THOSE STRUCTURES AND INSTALLATIONS UNDER CONSTRUCTION.
  5. FINAL GRADES SHALL BE REVIEWED AND APPROVED BY OWNER/LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION OF HARDSCAPE AND LANDSCAPE.



100% LANDSCAPE PLANS  
Layout Plan

Sheet Number:  
**LA5.10**



**HARDSCAPE NOTE:**  
CONTRACTOR SHALL OBTAIN AND UTILIZE AUTOCAD FILES PROVIDED BY THE LANDSCAPE ARCHITECT FOR THE LAYOUT OF ALL SITE ELEMENTS. ALL SITE ELEMENTS SHALL BE STAKED IN THE FIELD FOR APPROVAL BY THE OWNER/LANDSCAPE ARCHITECT PRIOR TO FINAL INSTALLATION.

**SITE PREPARATION:**

1. REMOVE AND DISPOSE OF TRASH PILES AND RUBBISH THAT CURRENTLY IS SCATTERED OVER THE CONSTRUCTION SITE OR COLLECTS THERE DURING CONSTRUCTION.
2. REMOVE AND DISPOSE OF ALL ORGANICS, SOD, WEEDS, GRASS, ROOTS, AND ALL OTHER OBJECTIONABLE MATERIAL FROM ALL AREAS WITHIN THE LIMITS OF CONSTRUCTION. GRASS, GRASS ROOTS AND ORGANIC MATERIAL IN AREAS TO BE EXCAVATED OR FILLED, SHALL BE STRIPPED TO A DEPTH AS NEEDED TO REMOVE ALL SAID ORGANIC MATERIAL AND ROOTS.
3. ALL DEPRESSIONS EXCAVATED BELOW THE ORIGINAL GROUND SURFACE OR BY THE REMOVAL OF SUCH OBJECTS, SHALL BE REILLED WITH F.D.O.T SAND AND COMPACTED TO A DENSITY CONFORMING TO THE SURROUNDING GROUND SURFACE.
4. CLEARING OPERATIONS SHALL BE CONDUCTED SO AS TO PREVENT DAMAGE TO EXISTING STRUCTURES, INSTALLATIONS AND TO THOSE STRUCTURES AND INSTALLATIONS UNDER CONSTRUCTION.
5. FINAL GRADES SHALL BE REVIEWED AND APPROVED BY OWNER/LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION OF HARDSCAPE AND LANDSCAPE.

**LANDSCAPE NOTES:**

1. CONTRACTOR SHALL STAKE LOCATIONS OF ALL TREES FOR REVIEW / APPROVAL BY OWNERS REPRESENTATIVE PRIOR TO INSTALLATION.
2. SEE PLANT LIST FOR SPECIFICATIONS.
3. SEE CIVIL DRAWINGS FOR LAYOUT OF FUTURE SIDEWALKS.
4. MINIMUM CLEAR SIGHT LINES ARE SHOWN AT ALL STREET INTERSECTIONS. 18" MINIMUM OFFSET IS REQUIRED FROM ALL PLANTINGS TO CLEAR SIGHT LINES. REFER TO LANDSCAPE NOTES FOUND ON THE LANDSCAPE DETAILS, NOTES, AND PLANT LIST SHEET.
5. CONTRACTOR TO UTILIZE CAD DRAWING FOR GPS LOCATION OF ALL STREET TREES.
6. ALL STREET TREES SHOWN IN THIS COMPLETE PLAN SET MUST BE FERTILIZED AND CARED FOR FOR A PERIOD OF ONE YEAR FROM THE DATE OF SUBSTANTIAL COMPLETION PER LAKE NONA'S TREE MAINTENANCE SPECIFICATIONS.
7. ALL STREET TREES NOT WATERED BY AN AUTOMATIC IRRIGATION SYSTEM MUST BE HANDWATERED FOR A PERIOD OF ONE YEAR FROM THE DATE OF SUBSTANTIAL COMPLETION PER LAKE NONA'S TREE MAINTENANCE SPECIFICATIONS.
8. ALL STREET TREE LOCATIONS MUST COMPLY WITH THE GUIDELINES OF THE FDOT DESIGN INDEX 546, CURRENT VERSION.

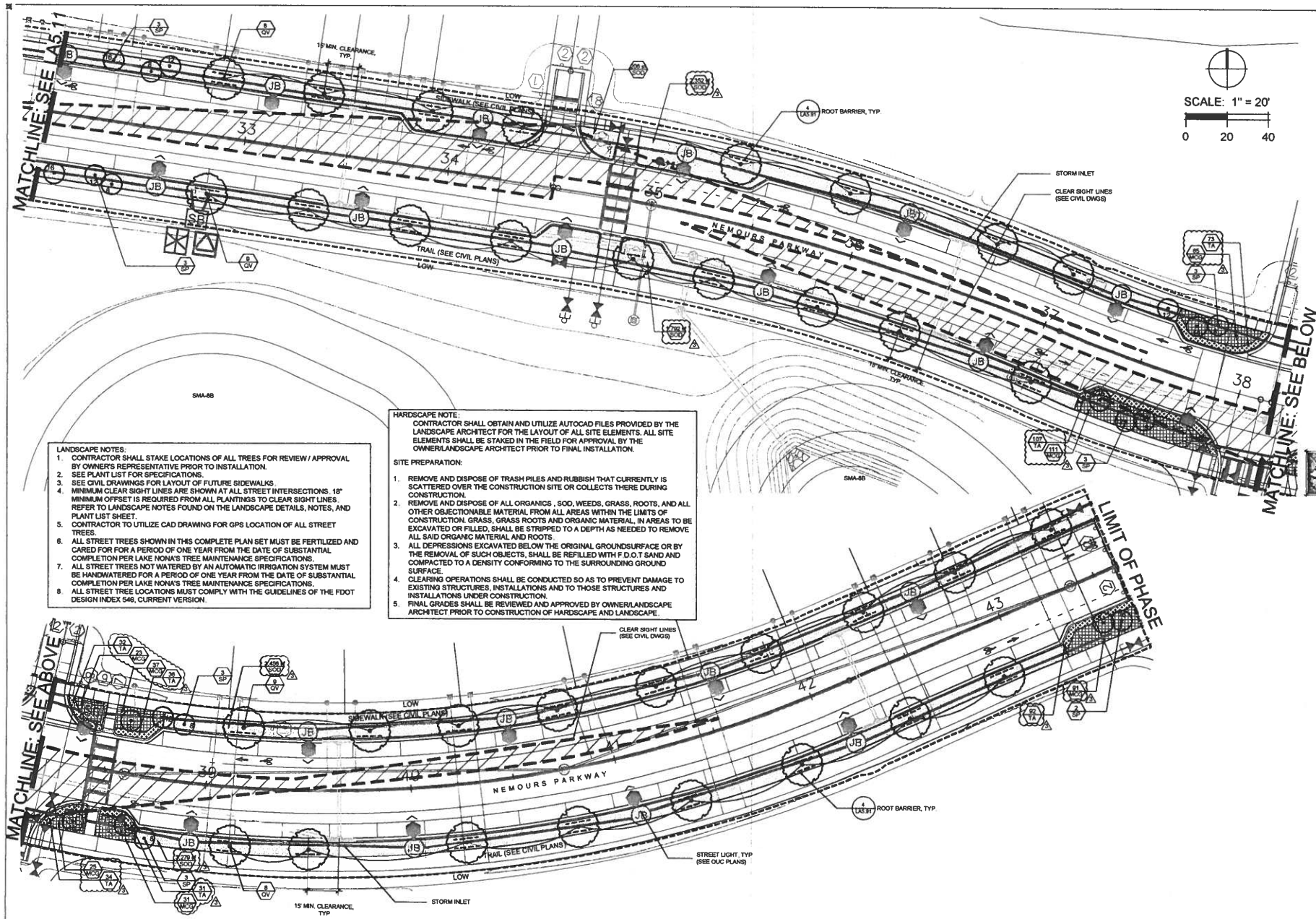
Date:	06/28/18
Drawn by:	SM
Reviewed by:	JD
Job Number:	12468.4
Revision:	
Date:	05/29/2018
Date:	06/04/2018
Date:	05/14/2019

**NEMOURS PARKWAY PHASE 7**  
ORLANDO, FL  
**GREENWAY IMPROVEMENT DISTRICT**  
6600 TAYLOR BOULEVARD, ORLANDO, FL



**100% LANDSCAPE PLANS**  
Layout Plan

Sheet Number:  
**LA5.11**



SCALE: 1" = 20'

0 20 40

Date:	06/28/18
Drawn by:	RH
Reviewed by:	JD
Job Number:	118864
Revision:	
1	05/20/2018
2	05/24/2018
3	05/24/2019

NEMOURS PARKWAY PHASE 7  
ORLANDO, FL

GREENWAY IMPROVEMENT DISTRICT  
6801 TAYLOR BOULEVARD, ORLANDO, FL

DIX, HITE  
PARTNERS  
180 W. LESHAR AVENUE  
SUITE 200  
ORLANDO, FL 32801

100% LANDSCAPE PLANS

Layout Plan

Sheet Number:  
**LA5.12**



1. CONTRACTOR IS EXPECTED TO CARRY OUT ALL RESPONSIBILITIES SET FORTH IN THESE LANDSCAPE NOTES AND IN THE LANDSCAPE SPECIFICATIONS. THEY WILL BE STRICTLY ENFORCED BY THE OWNER/LA.
2. ALL PLANT MATERIAL SHALL BE FLORIDA #1 OR BETTER ACCORDING TO THE CURRENT NURSERY GRADES AND STANDARDS
3. ALL PLANT BEDS SHALL BE DRESSED WITH 3" LAYER OF MULCH. ALL OTHER AREAS SHALL RECEIVE BOD (SEE PLAN FOR TYPE)
4. CONTRACTOR SHALL VERIFY ALL EXISTING UTILITIES PRIOR TO INSTALLATION.
5. ALL PLANTS SHALL MEET SIZE CONTAINER, AND SPACING SPECIFICATIONS. ANY MATERIAL NOT MEETING SPECIFICATIONS SHALL BE REMOVED AND REPLACED AT THE CONTRACTORS EXPENSE.
6. CONTRACTOR SHALL BE RESPONSIBLE TO RECEIVE THE LANDSCAPE ARCHITECT'S APPROVAL OF ALL PLANT BED LAYOUTS AND TREE LOCATIONS PRIOR TO INSTALLATION. IF PLANT MATERIAL IS INSTALLED PRIOR TO LANDSCAPE ARCHITECT'S APPROVAL, CONTRACTOR WILL BE SUBJECT TO RELOCATING THIS MATERIAL AT THE LANDSCAPE ARCHITECT'S REQUEST AND THE CONTRACTORS OWN EXPENSE.
7. ALL SHRUBS SHALL BE PLANTED 1'-1/2" AND TREE 3'-1/2" ABOVE GRADE. CONTRACTOR SHALL BE RESPONSIBLE FOR PROPER PLANT HEALTH IN ON-SITE SLOES.
8. CONTRACTOR SHALL PERFORM SOIL TESTING PRIOR TO CONSTRUCTION 1) TO DETERMINE NUTRIENT STATUS AND 2) TO SOIL SLOES TO BE USED TO DETERMINE THE PROPER FERTILIZER P.P. 12 OF SOIL. AND THEN AMEND THE SOIL BASED ON THE RESULTS OF THE TESTS. SEE THE LANDSCAPE SPECIFICATIONS FOR MORE INFORMATION.
9. CONTRACTOR SHALL BE RESPONSIBLE FOR FINE GRADING. GRADING SHALL BE SUBJECT TO THE APPROVAL OF THE LANDSCAPE ARCHITECT.
10. REFER TO SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.
11. CONTRACTOR SHALL SUBMIT UNIT PRICES FOR ALL BID ITEMS
12. SOIL SHALL BE FREE FROM LIMESTONE AND QUANTITIES DEBRIS.
13. IN THE EVENT OF A CONFLICT BETWEEN QUANTITIES REPRESENTED ON THE PLAN VS. QUANTITIES SHOWN ON THE PLANT LIST, THE PLAN SHALL CONTROL.
14. CONTRACTOR SHALL MAINTAIN TREES IN A STRAIGHT- AND PLUMB POSITION FOR ONE YEAR. CONTRACTOR SHALL STAKE ALL TREES IF REQUIRED BY THE JURISDICTION.
15. PRIOR TO REMOVAL OF ANY TREES, THE TREES TO BE RETAINED SHALL HAVE PROTECTIVE TREE BARRIERS.
16. LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THEIR OWN TAKE OFFS AND QUANTITIES. THE QUANTITIES ON THE BID SHALL BE THE BASIS FOR THE TAKE OFF. THIS INCLUDES SOIL AND MULCH QUANTITIES WHICH THE CONTRACTOR SHALL BE HELD TO BID QUANTITIES.
17. SUCCESSFUL BIDDER SHALL LOCK UP ALL MATERIALS IMMEDIATELY AFTER CONTRACT ASSIGNMENT. PLANTS SHALL BE HELD DURING THE PERIOD FROM CONTRACT TO INSTALLATION TO ALLOW ADDITIONAL GROWTH. ALL PLANTS WILL BE REQUIRED TO BE FULLY HEALTHY AND IMPROVED TO BE SUBMITTED, ARRANGE FOR PLANT APPROVAL PRIOR TO DELIVERY, EITHER BY SAMPLES, PHOTOS, OR NURSERY VISITS.
18. CONTRACTOR SHALL BE RESPONSIBLE FOR WARRANTY OF HEALTH OF PLANTS IN ON-SITE SLOES. IF, DURING DIGGING, CONTRACTOR DISCOVERS WATER-LOGGED, CLAYEY, COMPACTED OR SIMILARLY POORLY DRAINING SOILS, IT SHOULD BE BROUGHT TO THE ATTENTION OF OWNER/ARCHITECT FOR REMEDIAL ACTION.
19. CONTRACTOR SHALL ANTICIPATE THE FIRST FIVE FEET AROUND BUILDING PERIMETER WILL BE COMPACTED AND FIRMED TO PREVENT SOIL FROM BEING SETTLED OR IMPROVED TO GRAIN VICARIOUS, HEALTHY PLANT GROWTH.



FDOT STANDARD 548 TREE SPACING DETAIL  
SCALE: N.T.S.

TREES	QTY	BOTANICAL NAME	COMMON NAME	CONT	SPACING	REMARKS
LT	10	Lagerstroemia x 'Muskogee'	Standard Lavender Crape Myrtle	FG		B&B only, 14-16" HT., 10" SPD., 5" CT., 4" Cal., RPG, Full Healthy, Florida Fancy, Standard
PS	3	Phoenix sylvestris	Silver Date Palm	B & B		18" C.T., Matched Hts., Full Head, Diamond Cut Trunks, Florida Fancy
QV	99	Quercus virginiana 'Cathedral Oak'	Cathedral Oak	FG		B&B only, 14"x16", STD., 4" Cal., RPG, Full Healthy, Florida Fancy
SP	47	Sabal Palmetto	Sabal Palm	-		Hurricane cut, See Plans for Heights, 36" Min. Dia. Root Ball, 15" Min. Dia. Trunk, Boots Shaved Just Below Crown, Clean Trunk
SP12	12	Sabal Palmetto	Sabal Palm	-		Hurricane cut, See Plans for Heights, 36" Min. Dia. Root Ball, 11" Dia. Trunk Max., Boots Shaved Just Below Crown, Clean Trunk
SHRUB AREAS	QTY	BOTANICAL NAME	COMMON NAME	CONT	SPACING	REMARKS
IVN	163	Ilex vomitoria 'Nana'	Dwarf Yaupon Holly	3 gal	30" o.c.	12"-14" Ht. x 12"-14" Sprd., Full, Healthy, 30" O.C.
MCG	1,273	Muhlenbergia capillaris	Muhly Grass	3 gal	30" o.c.	18" Ht. x 18" Spd., Full, Healthy
GROUND COVERS	QTY	BOTANICAL NAME	COMMON NAME	CONT	SPACING	REMARKS
LM	1,459	Liriope muscari 'Emerald Goddess'	Liriope	1 Gal.	18" o.c.	1 Gal., 6-8ppp, Full, Healthy, 18" O.C. Triangular spacing
TA	2,921	Trachelospermum asiaticum 'Texas Longleaf'	Texas Longleaf Jasmine	1 gal	18" o.c.	Full in Pot, Healthy
SOD/SEED	QTY	BOTANICAL NAME	COMMON NAME	CONT	SPACING	REMARKS
SOD	50,798 sf	Stenotaphrum secundatum 'Floritam'	Floritam St. Augustine Sod	-		Solid Sod, Healthy, Free of Weeds
MISC.		TYPE				REMARKS
MULCH		Shredded Hardwood Mulch; Natural				Shredded Hardwood Mulch from Mulch, Inc.
ROOTBARRIER		Deeproot UB 24-2				12 LF, see Landscape Plans for locations

Description Diameter (Outside Diameter of Single Wireline)	Change Speed (rpm)											
	(feet/min)											
	30	35	40	45	50	55	60	65	70	75	80	85
Minimum Spacing (i. to c. of Frame)	25	30	35	40	45	50	55	60	65	70	75	80

[illegible]

c. For safety, these additional methods are necessary.

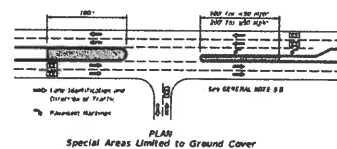
2. Where no full turn lane is provided, side and apron shall conform to the Tree Smearing Table. No trees shall be removed within 100' of the concrete median edge (measured from the edge of shoulder).

2. Where left turn lanes are provided the following requirements apply:

\* For one speed facilities having speed less than 50 mph, 1274 and 1275 are applicable to the Test Starting Table. No tests shall be conducted while 1274 or 1275 are contained within the test area.

derivation of the 100 of the restricted median age measured from the age of payment).

a. Few high speed facilities (design speed 50 mph or greater), no more than 30 percent of urban AOD at the road/road median rate beyond the limit the AOD station shall conform to the Time-Space Table



FDOT STANDARD 546 - SPECIAL AREAS LIMITED TO GROUND COVER  
SCALE: N.T.S.

GENERAL NOTES:

1. SEE NOTES, SPECIFICATIONS & LEGEND SHEET FOR ADDITIONAL INFORMATION INCLUDING VERTICAL DATUM.
2. THE SCALE OF THIS DRAWING MAY HAVE CHANGED DUE TO REPRODUCTION.
3. ALL SIGHT LINES ARE DRAWN 14.5" BACK FROM THE EDGE OF TRAVEL WAY TO THE DRIVER'S EYE BASED ON FIGURE 3-8 FROM THE 2007 FLORIDA GREENBOOK AS SHOWN ON THIS SHEET.

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**NEMOURS PARKWAY PHASE 7**  
ORLANDO, FL

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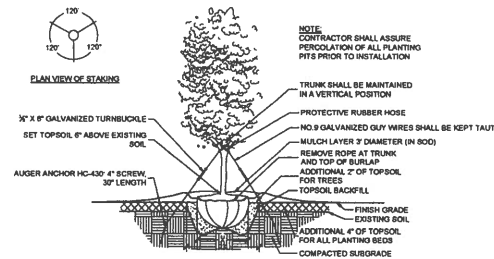
**GREENEWAY IMPROVEMENT DISTRICT**  
6900 TAVISTOCK BOULEVARD, ORLANDO, FL

**DIX.HITE**  
• PARTNERS  
50 W. JESSUP AVENUE  
OMNWOOD, FLORIDA

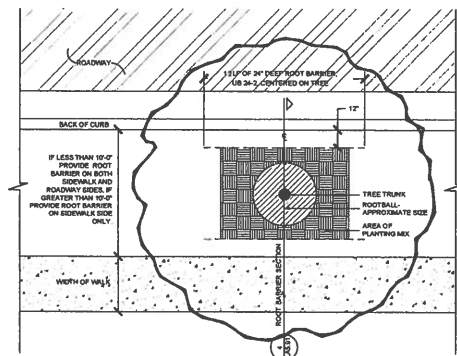
## 100% LANDSCAPE PLANS

Landscape Details, Notes, &amp; Plant List

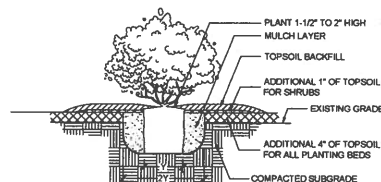
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**LA5.90**



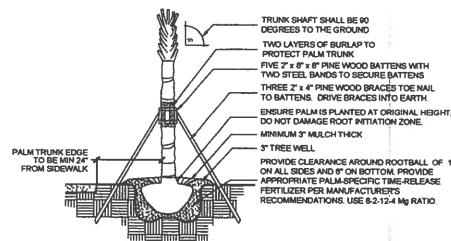
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LA5.91 TREE PLANTING DETAIL  
CROSS SECTION - N.T.S.



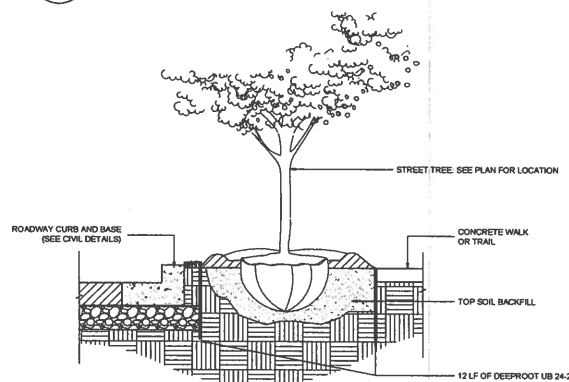
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LA5.91 ROOT BARRIER PLAN  
PLAN - N.T.S.



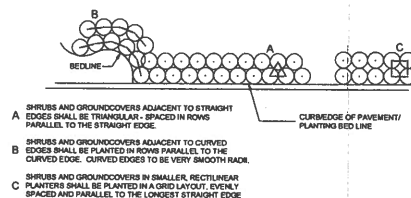
7  
LA5.91 TYPICAL SHRUB PLANTING  
PLAN - N.T.S.



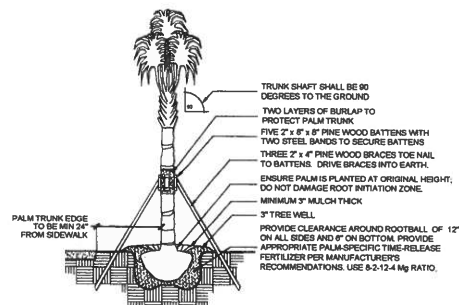
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LA5.91 PALM PLANTING  
PLAN - N.T.S.



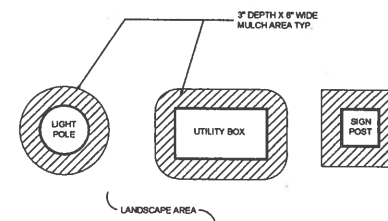
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LA5.91 ROOT BARRIER SECTION  
CROSS SECTION - N.T.S.



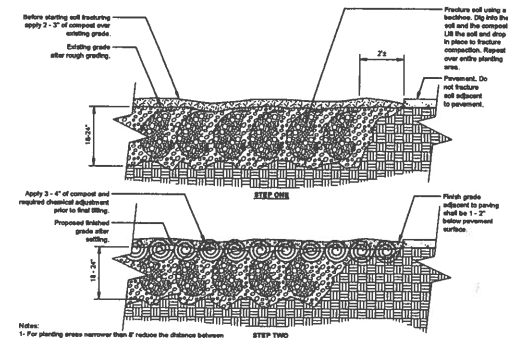
8  
LA5.91 TYPICAL SHRUB LAYOUT  
CROSS SECTION - N.T.S.



SPECIMEN PALM PLANTING



6  
LA5.91 LIGHT POLE, UTILITY BOX, & SIGN POLE MULCH AREAS  
PLAN - N.T.S.



9  
LA5.91 MODIFIED EXISTING SOIL - COMPACTED SUBSOIL (FRACTURING)  
CROSS SECTION - N.T.S.

Date:	06/19/18
Drawn by:	SM
Reviewed by:	JTD
Job Number:	21664.4
Revision:	Date:
1	06/19/18

NEMOURS PARKWAY PHASE 7  
ORLANDO, FL  
GREENWAY IMPROVEMENT DISTRICT  
6600 ZAVISTOCK BOULEVARD, ORLANDO, FL



100% LANDSCAPE PLANS  
Landscape Details, Notes, & Plant List

Sheet Number  
LA5.91



# LANDSCAPE SPECIFICATIONS

## PART 1 - GENERAL 1.01 WORK INCLUDED

- THE WORK INCLUDED IN THIS SECTION CONSISTS OF FURNISHING PLANTING, WATERING, FERTILIZING AND MULCHING ALL PLANTS AND LAND AREAS OF THE SPECIES, SIZE AND QUALITY IN THE LOCATIONS INDICATED ON THE DRAWINGS OR AS DISCUSSED WITH THE LANDSCAPE ARCHITECT.

## 1.02 DELIVERY, STORAGE AND HANDLING

- TRANSPORTATION AND INSPECTION: PLANT TRANSPORTATION SHALL COMPLY WITH ALL FEDERAL AND STATE REGULATIONS.

## 1.03 GUARANTEE

- THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL PLANTING WORK FOR A PERIOD OF TWELVE MONTHS AND ALL SOIL FOR THREE MONTHS AFTER THE DATE OF FINAL ACCEPTANCE. DURING THIS PERIOD, THE LANDSCAPE CONTRACTOR SHALL CONTINUE THE OBSERVATION OF PLANTS AND GUARANTEED WORK. THE LANDSCAPE CONTRACTOR SHALL SUBMIT MONTHLY OBSERVATION REPORTS TO THE OWNER WITH A COPY TO THE LANDSCAPE ARCHITECT DURING THE GUARANTEE PERIOD. THE PURPOSE OF THESE REPORTS IS TO STATE ANY MAINTENANCE DEFICIENCIES OBSERVED. IF IT IS THE LANDSCAPE CONTRACTOR'S RESPONSIBILITY TO REPORT THESE TO PROTECT HIS GUARANTEE, FAILURE TO SUBMIT REPORTS ELIMINATES ANY CLAIMS THAT THE GUARANTEE IS NOT VALID DUE TO IMPROPER MAINTENANCE BY THE OWNER.
- REPLACEMENT OF DEFECTIVE PLANTS: ANY DEAD PLANTS OR PLANTS SHOWING INDICATION OF PROBABLE NON-SURVIVAL OR LACK OF HEALTH AND VIGOR, OR WHICH DO NOT EXHIBIT THE CHARACTERISTICS TO MEET SPECIFICATIONS, SHALL BE REPLACED WITHIN TWO WEEKS OF NOTICE FROM OWNER OR LANDSCAPE ARCHITECT. ALL REPLACEMENT PLANTS SHALL BE FURNISHED/INSTALLED AT NO ADDITIONAL COST TO THE OWNER AND SHALL BE GUARANTEED FOR SIX MONTHS. ALL REPLACEMENTS SHALL MEET ORIGINAL SPECIFICATIONS.
- THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE OWNER AND LANDSCAPE ARCHITECT TEN DAYS PRIOR TO THE END OF THE GUARANTEE PERIOD AND SUCH GUARANTEE SHALL BE EXTENDED UNTIL NOTICE IS RECEIVED.
- AT THE END OF THE GUARANTEE PERIOD, ALL PLANTS THAT ARE DEAD OR UNSATISFACTORY SHALL BE REPLACED WITHIN TWO WEEKS.

## 1.04 JOB CONDITIONS

- PROTECTION: THE LANDSCAPE CONTRACTOR SHALL PROTECT ALL MATERIALS AND WORK AGAINST INJURY FROM ANY CAUSES AND SHALL PROVIDE AND MAINTAIN ALL NECESSARY SAFEGUARDS FOR THE PROTECTION OF THE PUBLIC. HE SHALL BE HELD RESPONSIBLE FOR ANY DAMAGE OR INJURY TO PERSON OR PROPERTY THAT MAY OCCUR AS A RESULT OF THE NEGLIGENCE IN THE PROSECUTION OF THE WORK.
- EXISTING CONDITIONS:
  - THE LANDSCAPE CONTRACTOR SHALL EXERCISE CARE IN DIGGING AND OTHER WORK SO AS NOT TO DAMAGE EXISTING WORK, INCLUDING UNDERGROUND PIPES AND CABLES, AND THE PIPES AND HYDRAULIC WATERING SYSTEMS. SHOULD SUCH OVERHEAD OR UNDERGROUND OBSTRUCTIONS BE ENCOUNTERED WHICH INTERFERE WITH PLANTING, THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE IMMEDIATE REPAIR OF ANY DAMAGE CAUSED BY HIS WORK. (SEE SECTION 3.01)
  - SHOULD ANY OBJECTIONABLE MATERIAL SUCH AS OLD CONCRETE, BRICKS OR OTHER DEBRIS BE ENCOUNTERED DURING PLANTING OPERATIONS, THEY SHALL BE REMOVED FROM THE SITE BY THE LANDSCAPE CONTRACTOR.
  - THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR PROPER PLANT GROWTH IN EXISTING ON-SITE SOILS. PRIOR TO COMMITMENT OF PLANT SPENDMENTS, THE LANDSCAPE CONTRACTOR SHALL EXAMINE THE SOIL IN ALL AREAS OF WORK BY CONDUCTING SOIL TESTS AND FILLING TEST HOLES WITH WATER TO DETERMINE IF SOIL CHEMISTRY AND DRAINAGE ARE SATISFACTORY. ANY UNSATISFACTORY CONDITIONS SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE LANDSCAPE ARCHITECT FOR POSSIBLE CORRECTIVE ACTION OR PLANT MATERIAL SUBSTITUTIONS. THE OWNER/LANDSCAPE ARCHITECT RESERVES THE RIGHT TO MAKE CHANGES OR SUBSTITUTIONS IN PLANT TYPE OR QUANTITIES FOR THE PURPOSES OF INSURING PROPER PLANT GROWTH.
  - PRIOR TO WORK, LANDSCAPE CONTRACTOR SHALL BECOME FULLY FAMILIAR WITH THE SITE AND THE WORK OF ALL OTHER TRADES, INCLUDING HARDSCAPE AND GRADING, IN ORDER TO UNDERSTAND THE FULL EXTENT OF THE WORK.

## 1.05 QUALITY CONTROL

- THE LANDSCAPE ARCHITECT / OWNER SHALL HAVE THE RIGHT, AT ANY STAGE OF THE OPERATIONS, TO OBJECT ANY AND ALL WORK AND MATERIAL THAT, IN HIS/HER OPINION, DO NOT MEET THE REQUIREMENTS OF THESE SPECIFICATIONS.
- ALL PLANTING SHALL BE PERFORMED BY PERSONNEL FAMILIAR WITH PLANTING PROCEDURE AND UNDER THE SUPERVISION OF A QUALIFIED PLANTING FOREMAN.
- ALL WORK SHALL COMPLY WITH APPLICABLE CODES AND REGULATIONS.
- THE WORK SHALL BE COORDINATED WITH OTHER TRADES TO PREVENT CONFLICTS.

## 1.06 QUANTITIES

- IN THE EVENT OF A CONFLICT BETWEEN QUANTITIES SHOWN ON THE PLANT LIST AND PLANS, THE PLANS SHALL CONTROL.

## PART 2 - PRODUCTS

### 2.01 MATERIALS

#### A. GENERAL:

- IDENTIFICATION: ALL TREES, SHRUBS AND PLANTS SHALL BE TRUE TO NAME AS ESTABLISHED BY THE AMERICAN JOINT COMMITTEE ON HORTICULTURAL NOMENCLATURE PUBLICATION "STANDARD PLANT NAMES". THE DESIGNATED AUTHORITY FOR THE IDENTIFICATION OF ALL MATERIAL SHALL BE THE TWO PUBLICATIONS OF L.N. BAILY, "HORTUS B" AND "MANUAL OF CULTIVATED PLANTS", AND ALL SPECIMENS SHALL BE TRUE TO TYPE, NAME, ETC., AS DESCRIBED THEREIN.
- GRADE STANDARDS AND QUALITY: ALL PLANTS SHALL BE NURSERY GROWN, AND SHALL COMPLY WITH ALL REQUIRED INSPECTION, GRADING STANDARDS AND PLANT REGULATIONS AS SET FORTH IN THE FLORIDA DEPARTMENT OF AGRICULTURE, "GRADES AND STANDARDS FOR NURSERY PLANTS," PARTS 1 AND 2 INCLUDING REVISIONS.

- THE MINIMUM GRADE FOR ALL TREES AND SHRUBS SHALL BE FLORIDA NO. 1 UNLESS OTHERWISE INDICATED AND ALL PLANTS SHALL BE SOUND, HEALTHY AND VIGOROUS, WELL BRANCHED AND DENSELY FOLIATED WITHIN IN LEAF. THEY SHALL HAVE HEALTHY, WELL-DEVELOPED ROOT SYSTEMS AND SHALL BE FREE OF DISEASE AND INSECT PESTS, EGGS OR LARVAE.

- MEASUREMENTS: THE MINIMUM ACCEPTABLE SIZE OF PLANTS, MEASURED AFTER PRUNING, WITH BRANCHES IN NORMAL POSITIONS, SHALL CONFORM TO THE SPECIFIED SIZES AS SHOWN ON THE PLANS. SIZES SPECIFIED ARE MINIMUM STANDARDS. PLANTS SHALL BE SMALLER THAN OR LARGER THAN ALL CATEGORIES (HEIGHT, SPREAD, CALIPER OF SIZE SPECIFICATION). SUBSTANTIAL DEVIATIONS FROM THESE MEASUREMENTS MUST BE APPROVED BY LANDSCAPE ARCHITECT. CALIPER OF TREE TRUNKS SHALL BE MEASURED ONE FOOT ABOVE ROOTBALL FOR TREES OVER 8" INCHES IN CALIPER, AND SHALL BE MEASURED 4 INCHES ABOVE THE ROOT BALL FOR TREES UNDER 8" INCHES IN CALIPER.

- PLANT PROTECTION: PLANTS SHALL BE PROTECTED UPON ARRIVAL AT THE SITE, BY BEING THOROUGHLY WATERED, KEPT MOIST, AND PROPERLY MAINTAINED UNTIL PLANTED.

- PLANT MATERIALS: WITH REFERENCE TO METHOD OF CULTIVATION, ROOT SYSTEM STATUS, ETC., PLANTS FOR LANDSCAPING SHALL BE CLASSIFIED UNDER THE FOLLOWING CATEGORIES:

- BAILED AND BURLAPPED: PLANTS SO CLASSIFIED SHALL BE DUG WITH FIRM NATURAL ROOT BALLS OF EARTH COMING FROM SIMILAR CLIMATIC AND SOIL CONDITIONS AS THOSE ON PROJECT SITE AND OF SUFFICIENT DIAMETER AND DEPTH TO INCLUDE MOST OF THE FIBROUS ROOTS. THE ROOT BALL OF THESE PLANTS SHALL BE PROPERLY PLUMPED WITH BURLAP BACK MATERIAL, AND REMAIN PROTECTED AND WET UNTIL THEY ARE PLANTED. THE PLANTS SHALL BE HANDLED ONLY BY THE EARTH BALL AND NOT BY THE PLANT ITSELF. ALL BAILED AND BURIED PLANTS WHICH CANNOT BE PLANTED IMMEDIATELY UPON DELIVERY SHALL BE SET ON THE GROUND AND SHALL BE WELL PROTECTED WITH KOOL WET POW, WET MUCK OR OTHER ACCEPTABLE MATERIAL. THE PLANTS SHALL BE SET WITH THE BURLAP COVER INTACT AND WITH THE BURLAP SHOWING. UNTIL INSPECTION OF FINAL NURSERY BURLAP SHOWN CUT AWAY TO GROUND LEVEL, AND THEN COMPLETELY COVERED WITH KOOL BURLAP. SHALL BE PURE BURLAP, ORGANIC FIBER WITH THE ABILITY TO DECOMPOSE.

#### 2. CONTAINER GROWN PLANTS:

- CONTAINER GROWN PLANTS SHALL HAVE BEEN GROWN IN CONTAINERS LARGE ENOUGH AND FOR SUFFICIENT TIME FOR THE ROOT SYSTEM WELL ENOUGH TO HOLD ITS SOIL TOGETHER FIRM AND WHOLE. NO PLANTS SHALL BE LOOSE IN THE CONTAINER. PLANTS THAT HAVE BECOME ROOT BOUND OR FOR WHICH THE TOP SYSTEM IS TOO LARGE FOR THE SIZE OF THE CONTAINER, WILL NOT BE ACCEPTABLE.

- ALL CONTAINERS SHALL BE CUT AND OPENED FULLY, IN A MANNER SUCH AS WILL NOT DAMAGE THE ROOT SYSTEM. CONTAINER GROWN PLANTS SHALL NOT BE REMOVED FROM THE CONTAINER UNTIL IMMEDIATELY BEFORE PLANTING, WHEN ALL DUE CARE SHALL BE TAKEN TO PREVENT DAMAGE TO THE ROOT SYSTEM.

- BARE ROOT PLANTS: NO BARE ROOT PLANTS SHALL BE USED, UNLESS SPECIFIED.

- GROW BAG PLANTS: NO GROW-BAG PLANTS SHALL BE USED.

#### C. PLANTING MATERIALS

##### 1. TOPSOIL:

- SOIL CHARACTERISTICS:

TOPSOIL SHALL BE FRIABLE SANDY LOAM, TYPE OF CULTIVATED TOPSOIL, LOCALLY, CONTAINING AT LEAST 5 PERCENT OF DECAYED ORGANIC MATTER (HUMUS). IT SHALL OCCUR AS ON-SITE NATURAL TOPSOIL WITH GOOD CHARACTERISTICS OR BE TAKEN FROM A WELL DRAINAGE, AVAILABLE SITE. IT SHALL BE REASONABLY FREE OF WEEDS, RUBBISH, STONES, CLUMPS, ROOTS OR OTHER OBJECTIONABLE EXTRANEOUS MATTER OR DEBRIS. IT SHALL NOT CONTAIN TOXIC MATERIALS AND SHALL HAVE ACIDITY RANGE OF PH 6.5 TO 7.0. TOPSOIL FROM NOT GRASS INFESTED AREAS WILL NOT BE ACCEPTABLE. CLAYEY SOIL FROM POND EXCAVATIONS WILL NOT BE ACCEPTABLE.

- LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR PLANT HEALTH AND SURVIVAL. IN ON-SITE SOIL, REVERSE WEEDS PRIOR TO SCHEDULED LANDSCAPE INSTALLATION, LANDSCAPE CONTRACTOR SHALL COLLECT SOIL SAMPLES FROM THE SITE FOR SOIL PH AND FERTILITY TESTING. ALLOW ENOUGH TIME FOR TESTING FACILITY TO PERFORM THEIR TESTS, OBTAIN THEIR RESULTS AND RECOMMENDATIONS AND ENOUGH TIME TO AMEND THE SOIL, IF NECESSARY, BASED ON THE RECOMMENDATIONS OF THE TESTING FACILITY. ALSO PRIOR TO LANDSCAPE INSTALLATION, THE LANDSCAPE CONTRACTOR SHALL EVALUATE THE ON-SITE SOIL'S ABILITY TO DRAIN.

- SOIL PH AND FERTILITY TESTING: SOIL TESTING SHALL BE PERFORMED AND ANALYZED BY A STATE-REGISTERED TESTING FACILITY (THE UNIVERSITY OF FLORIDA'S INSTITUTE OF FOOD AND AGRICULTURAL SCIENCES (IFAS) PROVIDES THIS TESTING SERVICE FOR A SOILAL FEE). THE RESULTS OF THE TESTS SHALL BE FURNISHED TO THE LANDSCAPE CONTRACTOR FOR REVIEW. THE RECOMMENDATIONS FROM THE TESTING FACILITY FOR FERTILIZER AND SOIL AMENDMENTS SHALL TAKE PRECEDENCE OVER THE FERTILIZER RATES AND ANALYSES IN THIS SECTION. SOIL TESTING IS THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR AND SHALL BE PERFORMED PRIOR TO LANDSCAPE INSTALLATION.

- SOIL DRAINAGE EVALUATION: WELL-DRAINAGE EVALUATION ARE REQUIRED FOR NEW LANDSCAPES TO SURVIVE. IT IS THE LANDSCAPE CONTRACTOR'S RESPONSIBILITY TO EVALUATE THE ON-SITE SOILS TO DETERMINE THE ABILITY TO DRAIN PROPERLY. SOILS WITH TOO MUCH CLAY OR TOO MUCH SAND WILL CAUSE PROBLEMS FOR PLANT SURVIVAL. CONTRACTOR SHALL VISUALLY INSPECT THE SITE FOR SIGNS OF POORLY DRAINAGE SOILS (STANDING WATER, SURFACE CRACKING, HARD TO THE TOUCH, ETC.) AND DIG TEST HOLES. CONTRACTOR SHALL WRITE A REPORT DOCUMENTING THEIR FINDINGS AND ALERT THE OWNER/IFA IF ANY EVIDENCE OF POORLY-DRAINAGE SOILS ARE DISCOVERED.

- DESIRED PARTICLE SIZE DISTRIBUTION IN TOP 8"-12" OF SOIL:

- 1.1. COARSE SAND (0.25mm) MINIMUM OF 60% (BY WEIGHT) OF PARTICLES SHALL FALL WITHIN THIS RANGE (80-600).
- 1.2. FINE SAND (0.075mm) MAXIMUM OF 20% (BY WEIGHT) OF PARTICLES SHALL FALL WITHIN THIS RANGE (60-150).
- 1.3. SILT (0.0075-0.075mm) MAXIMUM OF 10% (BY WEIGHT) OF PARTICLES SHALL FALL WITHIN THIS RANGE (90-900).
- 1.4. CLAY (0.002-0.0075mm) MAXIMUM OF 10% (BY WEIGHT) OF PARTICLES SHALL FALL WITHIN THIS RANGE (60-600).
- 1.5. SALT LEVELS (1:1000-1:2000) MAXIMUM OF 3% (BY WEIGHT) SHALL FALL WITHIN THIS RANGE (PPM).

- INFILTRATION OR PERCOLATION RATE OF SOIL: DESIRED LEVEL IS 2" PER HOUR.

- SOIL PREPARATION: PRIOR TO PLACING MUCK AND BACKFILL, OR COMMENCING WITH PLANTING, ROTOTILL ANY OR ALL AREAS THAT HAVE BEEN PREVIOUSLY COMPACTED OVER 80 PERCENT FOR OTHER CONSTRUCTION PURPOSES.

- FERTILIZER: FERTILIZER SHALL BE A COMPLETE BALANCED BLEND FORMULA, OF WHICH PART OF THE ELEMENTS SHALL BE FROM ORGANIC SOURCES. IT SHALL CONTAIN NITROGEN, PHOSPHORUS, POTASSIUM, SULFUR, AND ZINC. RECOMMENDED NUTRIENT RATES AS MAGNESIUM, IRON, COPPER, ZINC, BORON, AND MANGANESE IN SULFATE FORM. FERTILIZER SHALL BE APPLIED TO THE SOIL SURFACE AND INCORPORATED INTO THE SOIL TO A DEPTH OF 2-3 INCHES PER 1,000 SQUARE FEET. THE COMPLETE FERTILIZATION ANALYSIS SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT.

- MULCH: MULCH SHALL BE CLEAN, BRIGHT AND FREE OF WEEDS, MOSS, STICKS AND OTHER DEBRIS.

- WATER: SUITABLE WATER FOR THE IRRIGATION OF THE NEW PLANTINGS DURING THE PROGRESS OF CONSTRUCTION SHALL BE PROVIDED AND PAID FOR BY THE LANDSCAPE CONTRACTOR, WHO SHALL ALSO FURNISH ADEQUATE WATERING EQUIPMENT.

- STAKES AND TREE STAKES AND TREE TIES SHALL BE PROVIDED IN ACCORDANCE WITH THE REQUIREMENTS OF PARAGRAPH 3.02.2 HEREINAFTER.

## PART 3 - EXECUTION

### 3.01 PREPARATION

#### A. UNDERGROUND OBSTRUCTIONS:

- THE LANDSCAPE CONTRACTOR, PRIOR TO CONSTRUCTION, SHALL VERIFY ALL UTILITIES.
- UPON REQUEST FROM THE LANDSCAPE CONTRACTOR, THE OWNER SHALL PROVIDE PLANS SHOWING LOCATIONS OF UNDERGROUND UTILITIES. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR SECURING UNDERGROUND LOCATIONS FROM OTHER PUBLIC UTILITY COMPANIES, SUCH AS TELEPHONE, ELECTRICITY, ETC.
- IN THE EVENT THAT ROCK, UNDERGROUND CONSTRUCTION WORK, UTILITY LINES OR OBSTRUCTION OUT OF THE ORDINARY ARE ENCOUNTERED IN ANY PLANT PIT EXCAVATION, ALTERNATIVE LOCATIONS SHALL BE SELECTED BY THE LANDSCAPE ARCHITECT. WHERE LOCATIONS CANNOT BE CHANGED AND THE OBSTRUCTIONS MAY BE REMOVED, THE CONSTRUCTIONS SHALL BE REMOVED TO A DEPTH OF NOT LESS THAN 3 FEET BELOW GRADE AND NO LESS THAN 6 INCHES BELOW BOTTOM OF BALLS OF ROOTS WHEN PLANT IS PROPERLY SET AT THE REQUIRED GRADE.

#### B. EXCAVATION OF PLANTING BEDS AND/OR PLANT HOLES:

- WHERE EXCAVATION ENCOUNTERS MATERIAL WHICH ARE SUITABLE FOR PLANT GROWTH, THE PLANT HOLE EXCAVATIONS SHALL BE ROUGHLY CYLINDRICAL IN SHAPE, WITH THE SIDES APPROXIMATELY VERTICAL. PLANTS SHALL BE CENTERED IN THE HOLE, WITH THE TRUNK OR STEM AS SHOWN IN THE DRAWINGS. BOTTOMS OF THE HOLES SHALL BE UNDISTURBED NATURAL SUBGRADE PREVENTING THE TREE FROM BETTLING.
- PROTECTION OF EXISTING TREES: THE LANDSCAPE CONTRACTOR SHALL PROTECT EXISTING TREES FROM DAMAGE. WHERE DAMAGE DOES OCCUR, THE LANDSCAPE CONTRACTOR SHALL REMOVE THE DAMAGED TREE, THEN REPLACE IT IN KIND AND SIZE IN ACCORDANCE WITH THE INSTRUCTIONS OF THE LANDSCAPE ARCHITECT AND THE APPROPRIATE SPECIFICATIONS, ALL AT NO ADDITIONAL COST TO THE OWNER.
- GRADES: IT SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR TO FINISH (FINE) GRADES ALL LANDSCAPE AREAS, ELIMINATING ALL SURFACE IRREGULARITIES, DEPRESSIONS, STICKS, STONES AND OTHER DEBRIS TO THE SATISFACTION OF THE LANDSCAPE ARCHITECT. NO PLANT MATERIAL SHALL BE PLANTED UNTIL FINAL GRADE HAS BEEN ESTABLISHED, INSURING POSITIVE DRAINAGE, COMPACTED TO THE REQUIRED DEPTH, AND APPROVED BY THE LANDSCAPE ARCHITECT.

## 3.02 PLANTING

### A. SETTING OF PLANTS:

- WHEN LOWERING INTO THE HOLE, THE PLANT SHALL REST ON A PREPARED HOLE BOTTOM SUCH THAT THE ROOTS ARE LEVEL WITH, OR SLIGHTLY ABOVE, THE LEVEL OF THEIR PREVIOUS GROWTH AND SO ORIENTED SUCH AS TO PRESENT THE BEST ANTICIPATED BETTLING OF THE PLANTS. IF WET CONDITIONS ARE ANTICIPATED, PLANTS SHALL BE SET 2 INCHES TO 3 INCHES HIGHER THAN NORMAL.
- THE BACKFILL SHALL BE MADE WITH NATIVE SOIL AND TOPSOIL, AND SHALL BE FIRMLY RODDED AND WATERED-IN, SO THAT NO AIR POCKETS REMAIN. THE QUANTITY OF WATER APPLIED IMMEDIATELY UPON PLANTING SHALL BE SUFFICIENT TO THOROUGHLY MOISTEN ALL OF THE BACKFILLED EARTH. PLANTS SHALL BE KEPT IN A MOISTENED, BUT NOT SATURATED, CONDITION FOR THE DURATION OF THE ESTABLISHMENT PERIOD.

- STAKING AND GUYING: IT IS THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR TO MAINTAIN ALL PLANTS IN A PLUMB, UPRIGHT POSITION UNTIL THE END OF THE GUARANTEE PERIOD. STAKING SHALL BE THE OPTION OF THE LANDSCAPE CONTRACTOR, ALTHOUGH ALL DAMAGED PLANTS RESULTING FROM THE LACK OF PROPER STAKING AND GUYING SHALL BE REPLACED BY THE LANDSCAPE CONTRACTOR AT NO EXPENSE TO THE OWNER. ALL THREE CUT WIREDS SHALL BE PLACED WITH YELLOW SAFETY RIBBON.

### C. PRUNING

- ALL BROKEN OR DAMAGED ROOTS SHALL BE CUT OFF SMOOTHLY AND THE TOPS OF ALL TREES SHALL BE PRUNED IN A BANNERED CONE WITH ALL BRANCHES WITHIN 12 INCHES OF THE TRUNK. AT THE TIME OF PRUNING, ALL REMAINING LEAFY WOOD SHALL BE ALIVE. ALL CUT SURFACES OF 1 INCH OR MORE IN DIAMETER, ABOVE THE GROUND, SHALL BE TREATED WITH AN APPROVED COMMERCIAL TREE PAINT. FINE PRUNING FOR TREE SHAPE AND APPEARANCE SHALL BE DONE ONLY UNDER THE DIRECTION OF THE LANDSCAPE ARCHITECT.

- AT THE END OF THE GUARANTEE PERIOD, AT LEAST 80 PERCENT OF THE WOOD REMAINING SHALL BE ALIVE.

- MULCHING: WITHIN ONE WEEK AFTER THE PLANTING, MULCH MATERIAL SHALL BE UNIFORMLY APPLIED TO A MINIMUM LOOSE THICKNESS OF 2 1/2 INCHES OVER THE ENTIRE AREA OF THE BACKFILLED HOLE OR BED. THE MULCH SHALL BE MAINTAINED CONTINUOUSLY IN PLACE UNTIL THE TIME OF FINAL INSPECTION.

- WATERING: THE LANDSCAPE CONTRACTOR SHALL CONTINUE WATERING FOR AS LONG AS IS NECESSARY TO PROPERLY ESTABLISH THE NEW PLANTINGS. CARE SHALL BE TAKEN TO PREVENT STANES OR FERTILIZER CONCENTRATIONS, WHERE TEMPORARY WELL WATER IS USED.

- PEST CONTROL: PRIOR TO FINAL ACCEPTANCE, OCCURRENCE OF SCALE, BORER, POLAR FIRE, ANTHRAX, WILT, LEAF-BLOT AND DIEBACK, NEMATODES AND CANKER-PRODUCING FUNGI, SHALL BE TREATED WITH APPROPRIATE PESTICIDE.

- ALL PLANTS SHALL RECEIVE THE SPECIFIED FERTILIZER PRIOR TO FINAL ACCEPTANCE.

## 3.03 BERMING

- FILL DIRT SHALL BE LOCALLY OBTAINED MATERIAL FROM NATURALLY DRAINAGE SOURCES, FREE FROM DRY, ORGANIC DEBRIS, STONES LARGER THAN 4 INCH DIAMETER AND OTHER MATERIALS HARMFUL TO SUCCESSFUL DRAINAGE AND PLANT GROWTH. SOIL SHALL BE WELL MIXED AND CONTAIN NO MORE THAN 25 PERCENT MUCK.

- GRADE AREAS INDICATED WITH UNIFORM LEVELS OR SLOPES WITH NO MORE THAN 4:1 MAXIMUM SLOPE. BERMS SHALL BE GENTLY ROLLING AND PARABOLIC.
- REPAIR AND RE-ESTABLISH GRADES IN SETTLED, ERODED, RUTTED, OR OTHERWISE DAMAGED AREAS.

## 3.04 SODDING

- THE SOD SHALL BE OF FIRM, TOUGH TEXTURE HAVING A COMPACT GROWTH OF GRASS WITH GOOD ROOT DEVELOPMENT. IT SHALL CONTAIN NO BERMUDA GRASS, WEEDS OR ANY OTHER OBJECTIONABLE VEGETATION. THE SOD, EMBEDDED IN THE SOIL, SHALL BE 9000 CLEAN EARTH, FREE FROM STONES AND DEBRIS. THE SOD SHALL BE FREE FROM FUNGUS, VERMIN AND OTHER DISEASES. FINAL TURF SHALL HAVE NO AREA GREATER THAN 6 SQUARE INCHES OF UNLAWFUL AREA.

- SOLID SOD SHALL BE Laid WITH CLOVELY ABUTTING JOINTS WITH A ROLLED EVEN SURFACE. IF IT SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR TO BRING THE SOD EDGE IN A NEAT, CLEAN MANNER TO THE EDGE OF ALL PAVING AND SHRUB AREAS. AFTER THE SOD IS Laid, A TOP DRESSING OF CLEAN SAND WILL BE EVENLY APPLIED OVER THE ENTIRE SURFACE AND THOROUGHLY WORKED IN. IF DETERMINED NECESSARY, FERTILIZER SHALL BE APPLIED AS REQUIRED TO PREVENT SURPLAGE. FERTILIZE ALL SOIL FOUND NITROGEN PER 1,000 SQUARE FEET.

## 3.05 FIELD QUALITY CONTROL

- MAINTENANCE PRIOR TO FINAL ACCEPTANCE:

- MAINTENANCE SHALL BEGIN IMMEDIATELY AFTER EACH PLANT IS PLANTED AND SHALL CONTINUE UNTIL FINAL ACCEPTANCE. PLANTS SHALL BE WATERED, MULCHED, WEEDED, PRUNED, SPRAYED, FERTILIZED, CULTIVATED AND OTHERWISE MAINTAINED AND PROTECTED FOR THE PERIOD OF TIME STATED ABOVE. SOD SHALL BE MOWED, IF REQUIRED.

- SETTLED PLANTS SHALL BE RESET TO PROPER GRADE POSITION, PLANTING SAUCER RESTORED AND DEAD MATERIAL REMOVED. CUTS SHALL BE TIGHTERED AND REPAIRED.

- DEFECTIVE WORK SHALL BE CORRECTED AS SOON AS POSSIBLE AFTER IT BECOMES APPARENT AND WEATHER AND SEASON PERMIT. UPON COMPLETION OF PLANTING, THE LANDSCAPE CONTRACTOR SHALL REMOVE FROM THE SITE EXCESS SOIL AND DEBRIS, AND REPAIR ANY DAMAGE TO STRUCTURES, ETC., RESULTING FROM PLANTING OPERATIONS.

- THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR PROTECTION AGAINST MECHANICAL DAMAGE. THIS SHALL INCLUDE PROVIDING PROTECTION FROM VEHICLES INCLUDING THE POSTING OF APPROVED WARNING SIGNS AND BARRICADES. AS NEEDED, THE LANDSCAPE CONTRACTOR SHALL REPAIR, RESTORE OR REPLACE ANY PLANTS OR PLANTING AREAS WHICH MIGHT BECOME DAMAGED AS A RESULT OF ANY NEGLIGENCE BY THE LANDSCAPE CONTRACTOR OR ANY OTHER PARTY. REQUIREMENTS AS A PRELIMINARY REQUIREMENT OF THESE CONDITIONS, THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR ASSURING THAT ALL PLANTS AT THE TIME OF FINAL ACCEPTANCE, EXHIBIT THE CHARACTERISTICS AND QUALIFICATIONS REQUIRED FOR THE GRADE OF PLANT AS ORIGINALLY SPECIFIED.

- THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY ADDITIONAL WATERING REQUIRED IF IRRIGATION PROVES TO BE INADEQUATE FOR FRESHLY PLANTED MATERIAL.

- EXCEPT AS OTHERWISE SPECIFIED, THE LANDSCAPE CONTRACTORS WORK SHALL CONFORM TO ACCEPTED HORTICULTURAL PRACTICES AS USED IN THE TRADE.

## B. FINAL ACCEPTANCE:

- UPON COMPLETION OF ALL WORK, INCLUDING MAINTENANCE, THE LANDSCAPE CONTRACTOR SHALL ARRANGE FOR A FINAL REVIEW. THE LANDSCAPE WORK MAY BE REVIEWED FOR ACCEPTANCE IN PARTS. PROVIDED THE WORK COMPRISES OF ONE FULL UNIT OR AREA OF SUBSTANTIAL SIZE.

- DATE OF FINAL ACCEPTANCE SHALL MARK THE BEGINNING OF THE GUARANTEE PERIOD.

- GUARANTEE REVIEW: AT THE END OF THE GUARANTEE PERIOD, REVIEW OF PLANTS WILL BE MADE BY THE LANDSCAPE ARCHITECT UPON WRITTEN NOTICE REQUESTING SUCH REVIEW, SUBMITTED BY THE LANDSCAPE CONTRACTOR AT LEAST TEN DAYS BEFORE THE ANTICIPATED WALK-THRU. ALL DEFECTS DISCOVERED SHALL BE REPAIRED OR REPLACED BY THE LANDSCAPE CONTRACTOR.

## 3.06 ADJUSTMENT AND CLEANING

- CLEANING UP THE SITE UPON COMPLETION OF ANY LANDSCAPE PROJECT, THE LANDSCAPE CONTRACTOR MUST THOROUGHLY CLEAN UP THE PROJECT SITE. IN ADDITION TO REMOVING ALL EQUIPMENT, UNUSED MATERIAL, OBSTACULAR MATERIAL, AND SURPLUS EXCAVATED MATERIAL, THE LANDSCAPE CONTRACTOR SHALL FINE GRADE ALL DISTURBED AREAS AND THE AREAS ADJACENT TO THE NEW PLANTINGS TO PROVIDE A NEAT AND UNIFORM SITE. ALL DAMAGED OR ALTERED EXISTING STRUCTURES, AS A RESULT OF THE LANDSCAPE WORK, SHALL BE CORRECTED.

Date:	06/28/18
Drawn by:	RM
Checked by:	TD
By:	110464
Revision:	
Date:	06/28/2018

NEMOURS PARKWAY PHASE 7  
ORLANDO, FL  
GREENWAY IMPROVEMENT DISTRICT  
9000 TAYLOR BLVD ORLANDO, FL

DIXIE  
PARTNERS  
100 W. JEFFERSON AVENUE  
SUITE 100  
ORLANDO, FL 32801

100% LANDSCAPE PLANS  
Landscape Specifications

Sheet Number:  
LA5.99

## Conor MacNamara

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**From:** Paul Stephens <paul.stephens@tavistock.com>  
**Sent:** Thursday, July 4, 2019 10:49 AM  
**To:** Conor MacNamara; Troy Davidson; Tarek Fahmy  
**Cc:** Scott Thacker; Hank Blake; Josh Huynh  
**Subject:** RE: Nemours Parkway Phase 7 - irrigation sleeves

I spoke with Lyle yesterday concerning the changes and I'm good if everyone else is. Thanks!

PAUL STEPHENS  
Irrigation Specialist

Tavistock Development Company  
6900 Tavistock Lakes Blvd, Suite #200  
Orlando, FL 32827

C: (407) 462-7576  
[paul.stephens@tavistock.com](mailto:paul.stephens@tavistock.com)

[www.tavistockdevelopment.com](http://www.tavistockdevelopment.com)

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**From:** Conor MacNamara <Conor.MacNamara@jr-davis.com>  
**Sent:** Wednesday, July 3, 2019 3:46 PM  
**To:** Paul Stephens <paul.stephens@tavistock.com>; Troy Davidson <troy.davidson@tavistock.com>; Tarek Fahmy <tfahmy@dwma.com>  
**Cc:** Scott Thacker <scott.thacker@tavistock.com>; Hank Blake <Hank.Blake@jr-davis.com>; Josh Huynh <Josh.Huynh@jr-davis.com>  
**Subject:** RE: Nemours Parkway Phase 7 - irrigation sleeves

### EXTERNAL E-MAIL

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Apologies gents, please see revised attachment.  
3DTree made some slight adjustments to the plans sent earlier today, they feel this new layout may work better.  
Please review and advise if they can proceed as shown.

Thanks,

Conor MacNamara  
Project Engineer



Jr. Davis Construction Company, Inc.  
160 International Parkway







# REVIEWED FOR CITY COMPLIANCE

DATE: 01/11/19 City Engineer

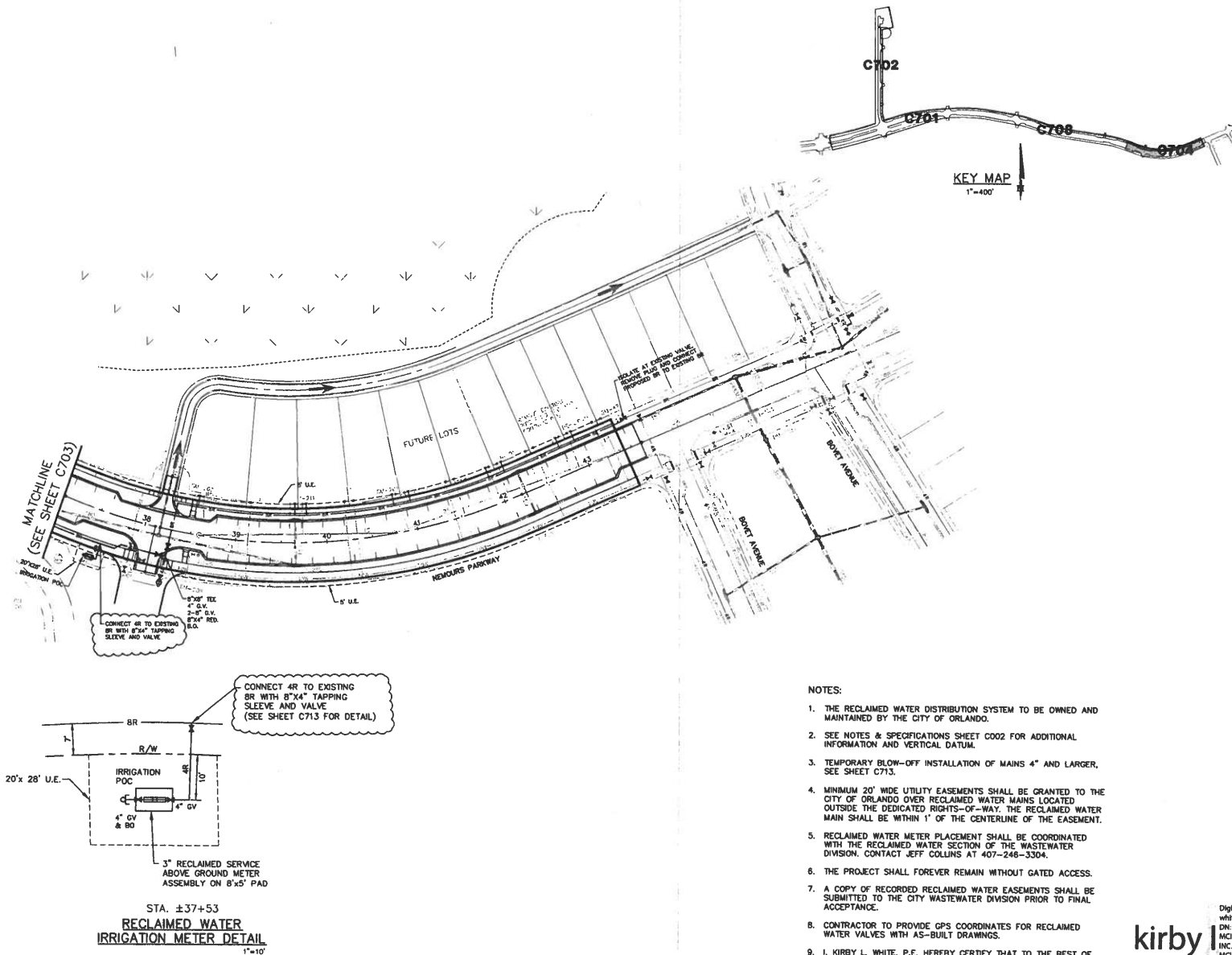
PERMIT NO. ENR2019-108

ADDRESS: 1901 SAVATTOUCHES BLVD ORLANDO

CONTRACTOR: CRWS HAS

NOTE: Permit Issuance does not grant permission to violate applicable codes or laws. Please see plan and notes for all items.

CITY OF ORLANDO  
PERMITTING SERVICES DIVISION




## NOTES:

1. THE RECLAIMED WATER DISTRIBUTION SYSTEM TO BE OWNED AND MAINTAINED BY THE CITY OF ORLANDO.
2. SEE NOTES & SPECIFICATIONS SHEET C002 FOR ADDITIONAL INFORMATION AND VERTICAL DATUM.
3. TEMPORARY BLOW-OFF INSTALLATION OF MAINS 4" AND LARGER, SEE SHEET C713.
4. MINIMUM 20' WIDE UTILITY EASEMENTS SHALL BE GRANTED TO THE CITY OF ORLANDO OVER RECLAIMED WATER MAINS LOCATED OUTSIDE THE DEDICATED RIGHTS-OF-WAY. THE RECLAIMED WATER MAIN SHALL BE WITHIN 1' OF THE CENTERLINE OF THE EASEMENT.
5. RECLAIMED WATER METER PLACEMENT SHALL BE COORDINATED WITH THE RECLAIMED WATER SECTION OF THE WASTEWATER DIVISION. CONTACT JEFF COLLINS AT 407-248-3304.
6. THE PROJECT SHALL FOREVER REMAIN WITHOUT GATED ACCESS.
7. A COPY OF RECORDED RECLAIMED WATER EASEMENTS SHALL BE SUBMITTED TO THE CITY WASTEWATER DIVISION PRIOR TO FINAL ACCEPTANCE.
8. CONTRACTOR TO PROVIDE GPS COORDINATES FOR RECLAIMED WATER VALVES WITH AS-BUILT DRAWINGS.
9. I, KIRBY L. WHITE, P.E. HEREBY CERTIFY THAT TO THE BEST OF MY KNOWLEDGE ALL EXISTING UTILITIES HAVE BEEN FIELD LOCATED AND THE LOCATION AND ELEVATION DEPICTED ON THESE PLANS IS BASED ON ACTUAL SURVEY, GROUND PENETRATING RADAR, SOFT DIG EXCAVATIONS, AND OTHER INDUSTRY METHODS. I FURTHER CERTIFY THAT ALL MEASURES HAVE BEEN TAKEN WITH REGARD TO UTILITY PROVIDERS' NOTIFICATION TO MARK UTILITIES IN ACCORDANCE WITH CHAPTER 556 F.S., SUNSHINE STATE ONE CALL.

Digitally signed by kirby l white  
DN: cn=US, o=DONALD W. MCINTOSH ASSOCIATES INC., ou=DONALD W. MCINTOSH ASSOCIATES INC., cn=kirby l white, 0.9.2342.19200300.100.1, 1.4.0.1097C0000153C2 DE9C100012575  
Date: 2019.07.22 15:31:06 -0400

kirby l white

DRAWING	B106-NP7-METEC	
SHEET	C704	
LAKE NONA NEMOURS PARKWAY PHASE 7 CITY OF ORLANDO, FLORIDA RECLAIMED WATER PLAN		
<div></div> <div>DONALD W. MCINTOSH ASSOCIATES, INC. ENGINEERS PLANNERS 2600 PALM AVENUE NORTH, WINTER PARK, FL 32789 407.844.0088 CERTIFICATE OF AUTHORIZATION NO. 14</div>		
DRAWN BY	DESIGNED BY	CHECKED BY
STB	JAC	JAC
DATE	1/22/19	DATE
SCALE	1"=50'	SCALE
JOB NUMBER	03106	JOB NUMBER
DATE	03/08	DATE
FLORIDA P.E. No.	44802	FLORIDA P.E. No.
KIRBY L. WHITE		KIRBY L. WHITE
DATE		DATE
REVISIONS		REVISIONS
NO.	DATE	DESCRIPTION
4	7/10/19	ADDED 8"X4" TAPPING SLEEVE AND VALVE
3	6/27/19	ADDED IRRIGATION POC AND UTILITY EASEMENT
2	6/27/19	ADDED 8"X4" TAPPING SLEEVE AND VALVE
1	6/27/19	RECEIVED PER CITY COMMENTS

**LAKE NONA SOUTH  
Greenway Improvement District  
Kellogg Avenue Extension  
Change Order Log  
Dewitt Excavating**

C.O. #	Date	Description of Revision	Additional Days	Amount	Status	New Contract Amount Original Contract Date	To Board	Approval Date	Notes
						\$1,797,324.58			
<u>1</u>	7/12/2018	Developer Portion - Stabilize Construction Access Road and Import Fill	0	\$230,500.00	Approved	\$2,027,824.58	7/17/2018	7/17/2018	
<u>2</u>	8/1/2018	Add days to contract due to weather	8	\$0.00	Approved	\$2,027,824.58	8/23/2018	8/23/2018	
<u>3</u>	9/14/2018	OUC Access Revision - electric and street lighting layout configuration - Kellogg Avenue Extension	0	-\$2,146.88	Approved	\$2,025,677.70	9/18/2018	9/18/2018	
4	9/14/2018	OUC Access Revision - electric and street lighting layout configuration - Hartwell Court Extension	0	\$65,127.18	Approved	\$2,090,804.88	9/18/2018	9/18/2018	
5	10/15/2018	Change of Oak Trees to Acer Rubrum	0	-\$500.00	Approved	\$2,090,304.88	10/16/2018	10/16/2018	
6	10/16/2018	Addition of compost to plant area for Canopy Trees only	0	\$1,691.88	Approved	\$2,091,996.76	11/19/2018	11/19/2018	
7	2/4/2019	Credit for dirt not imported	0	-\$124,608.00	Approved	\$1,967,388.76	2/19/2019	2/19/2019	
8	1/7/2019	Core and connection for SM07 - Soccer Field; Water Service Connection for Soccer Field and Water park	0	\$19,077.25	Approved	\$1,986,466.01	2/19/2019	2/19/2019	
9	2/6/2019	Stop sign and thermopaint	0	\$1,956.00	Approved	\$1,988,422.01	2/19/2019	2/19/2019	
10	2/19/2019	Change of street sign	0	\$750.00	Approved	\$1,989,172.01	3/19/2019	3/19/2019	
11	rev 8/26/2019	Drainage improvements along future northerly extension of Centerline Drive	0	\$202,994.27	Approved	\$2,192,166.28	8/20/2019	8/20/2019	
12	9/17/2019	(formerly Kellogg CO #10 by Tavistock) Irrigation Repairs	0	\$2,220.00	Approved	\$2,194,386.28	9/17/2019	9/17/2019	

# **GREENEWAY IMPROVEMENT DISTRICT**

**Resolution 2020-01,  
Adopting an Amended Budget for FY 2019**



## RESOLUTION 2020-01

### A RESOLUTION OF THE BOARD OF SUPERVISORS OF THE GREENWAY IMPROVEMENT DISTRICT ADOPTING AN AMENDED GENERAL FUND BUDGET FOR FISCAL YEAR 2018/2019, PROVIDING FOR APPROPRIATIONS; ADDRESSING CONFLICTS AND SEVERABILITY; AND PROVIDING FOR AN EFFECTIVE DATE.

**WHEREAS**, on August 23, 2018, the Board of Supervisors of the Greenway Improvement District (“**Board**”), adopted Resolution 2018-17 providing for the adoption of the District’s Fiscal Year 2018/2019 annual budget (“**Budget**”); and

**WHEREAS**, the District Manager, at the direction of the Board, has prepared an amended Budget, to reflect changes in the actual appropriations of the Budget; and

**WHEREAS**, Chapters 189 and 190, *Florida Statutes*, and Section 3 of Resolution 2018-17 authorize the Board to amend the Budget within sixty (60) days following the end of the Fiscal Year 2018/2019; and

**WHEREAS**, the Board finds that it is in the best interest of the District and its landowners to amend the Budget to reflect the actual appropriations; and

### NOW, THEREFORE, BE IT RESOLVED BY THE BOARD OF SUPERVISORS OF THE GREENWAY IMPROVEMENT DISTRICT:

#### 1. BUDGET AMENDMENT.

- a. The Board has reviewed the District Manager’s proposed amended Budget, copies of which are on file with the office of the District Manager and at the District’s Records Office, and hereby approves certain amendments thereto, as shown in Section 2 below.
- b. The amended Budget attached hereto as **Exhibit A** and incorporated herein by reference as further amended by the Board is hereby adopted in accordance with the provisions of sections 190.008(2)(a) and 189.016(6), *Florida Statutes*; provided, however, that the comparative figures contained in the amended Budget as adopted by the Board (together, “**Adopted Annual Budget**”) may be further revised as deemed necessary by the District Manager to further reflect actual revenues and expenditures for Fiscal Year 2018/2019.

- c. The Adopted Annual Budget shall be maintained in the office of the District Manager and the District Records Office and identified as “The Adopted Budget for the Greenway Improvement District for the fiscal year ending September 30, 2019, as amended and adopted by the Board of Supervisors effective November 19, 2019.”

**2. APPROPRIATIONS.** There is hereby appropriated out of the revenues of the Greenway Improvement District, the fiscal year beginning October 1, 2018, and ending September 30, 2019, the sums set forth below, to be raised by special assessments, which sums are deemed by the Board of Supervisors to be necessary to defray all expenditures of the District during said budget year, to be divided and appropriated in the following fashion:

TOTAL GENERAL FUND	\$843,335.87
DEBT SERVICE FUND	\$4,815,050.00
<b>TOTAL ALL FUNDS</b>	<b>\$5,658,385.87</b>

**3. CONFLICTS.** This Resolution is intended to amend, in part, Resolution 2018-17, which remains in full force and effect except as otherwise provided herein. All terms of Resolution 2018-17 that are not amended by this Resolution apply to the Adopted Annual Budget as if those terms were fully set forth herein. All District resolutions or parts thereof in actual conflict with this Resolution are, to the extent of such conflict, superseded and repealed.

**4. SEVERABILITY.** The invalidity or unenforceability of any one or more provisions of this Resolution shall not affect the validity or enforceability of the remaining portions of this Resolution, or any part thereof.

**5. EFFECTIVE DATE.** This Resolution shall take effect as of November 19, 2019.

Introduced, considered favorably, and adopted this 19th day of November, 2019.

**ATTEST:**

**GREENEWAY IMPROVEMENT  
DISTRICT**

\_\_\_\_\_  
Secretary/Assistant Secretary

\_\_\_\_\_  
Chairperson, Board of Supervisors

**Exhibit A:** Amended Fiscal Year 2018/2019 Budget

**Exhibit A**  
**Amended Fiscal Year 2018/2019 Budget**

**Greenway Improvement District**  
FY 2019 Adopted Budget (proposed revised)

	YTD Actual	FY 2019 Adopted Budget	YTD Variance	FY 2019 Adopted Budget (proposed revised)
<b><u>Revenues</u></b>				
On-Roll Assessments	\$ 430,350.69	\$ 407,655.75	\$ 22,694.94	\$ 430,350.69
Off-Roll Assessments	412,985.18	412,985.20	(0.02)	412,985.18
<b>Net Revenues</b>	<b>\$ 843,335.87</b>	<b>\$ 820,640.95</b>	<b>\$ 22,694.92</b>	<b>\$ 843,335.87</b>
<b><u>General &amp; Administrative Expenses</u></b>				
<b>Legislative</b>				
Supervisor Fees	\$ 3,800.00	\$ 7,200.00	\$ (3,400.00)	\$ 3,800.00
<b>Financial &amp; Administrative</b>				
Public Officials' Liability Insurance	2,244.00	2,500.00	(256.00)	2,244.00
Trustee Services	3,928.39	2,500.00	1,428.39	3,928.39
Management	39,999.96	40,000.00	(0.04)	40,000.00
Engineering	9,425.00	10,000.00	(575.00)	9,425.00
Dissemination Agent	5,000.00	5,000.00	-	5,000.00
Property Appraiser	1,672.00	1,500.00	172.00	1,672.00
District Counsel	25,202.51	22,000.00	3,202.51	25,202.51
Assessment Administration	7,500.00	7,500.00	-	7,500.00
Audit	4,395.00	5,500.00	(1,105.00)	4,395.00
Travel and Per Diem	244.63	150.00	94.63	244.63
Telephone	324.83	500.00	(175.17)	324.83
Postage & Shipping	1,064.01	500.00	564.01	1,064.01
Copies	2,604.15	2,000.00	604.15	2,604.15
Legal Advertising	7,130.86	3,800.00	3,330.86	7,130.86
Bank Fees	-	50.00	(50.00)	-
Miscellaneous	215.55	2,500.00	(2,284.45)	215.55
Property Taxes	477.29	1,500.00	(1,022.71)	477.29
Web Site Maintenance	1,280.99	1,250.00	30.99	1,280.99
Dues, Licenses, and Fees	175.00	175.00	-	175.00
<b>Total General &amp; Administrative Expenses</b>	<b>\$ 116,684.17</b>	<b>\$ 116,125.00</b>	<b>\$ 559.17</b>	<b>\$ 116,684.21</b>

**Greenway Improvement District**  
FY 2019 Adopted Budget (proposed revised)

	YTD Actual	FY 2019 Adopted Budget	YTD Variance	FY 2019 Adopted Budget (proposed revised)
<b><u>Field Operations</u></b>				
<b>Electric Utility Services</b>				
Electric	\$ 8,009.41	\$ 5,000.00	\$ 3,009.41	\$ 8,009.41
<b>Water-Sewer Combination Services</b>				
Water Reclaimed	47,078.15	20,000.00	27,078.15	43,000.00
<b>Other Physical Environment</b>				
General Insurance	2,525.00	3,000.00	(475.00)	2,525.00
Property & Casualty Insurance	5,987.00	-	5,987.00	5,987.00
Other Insurance	-	750.00	(750.00)	-
Irrigation	48,835.41	30,000.00	18,835.41	45,000.00
Landscaping Maintenance & Material	230,639.50	228,636.00	2,003.50	230,639.50
Tree Trimming	22,410.50	40,000.00	(17,589.50)	22,410.50
Flower & Plant Replacement	87,844.35	50,000.00	37,844.35	80,000.00
Contingency	23,156.83	17,614.00	5,542.83	22,422.07
Hurricane Cleanup	-	5,000.00	(5,000.00)	-
<b>Interchange Maintenance Expenses</b>				
IME - Aquatics Maintenance	3,607.20	3,816.00	(208.80)	3,607.20
IME - Irrigation	9,552.16	36,000.00	(26,447.84)	9,552.16
IME - Landscaping	99,783.65	88,253.28	11,530.37	99,783.65
IME - Lighting	16,040.44	20,000.00	(3,959.56)	16,040.44
IME - Miscellaneous	3,835.73	-	3,835.73	3,835.73
IME - Water Reclaimed	1,079.56	3,600.00	(2,520.44)	1,079.56
<b>Road &amp; Street Facilities</b>				
Entry and Wall Maintenance	3,000.00	3,000.00	-	3,000.00
Hardscape Maintenance	4,200.00	3,000.00	1,200.00	4,200.00
Streetlights	87,717.47	100,000.00	(12,282.53)	87,717.47
Accent Lighting	-	2,000.00	(2,000.00)	-
<b>Parks &amp; Recreation</b>				
Personnel Leasing Agreement	18,333.37	20,000.00	(1,666.63)	18,333.37
<b>Reserves</b>				
Infrastructure Capital Reserve	22,200.00	22,200.00	-	22,200.00
Interchange Maintenance Reserve	3,146.67	3,146.67	-	3,146.67
<b>Total Field Operations Expenses</b>	<b>\$ 748,982.40</b>	<b>\$ 705,015.95</b>	<b>\$ 43,966.45</b>	<b>\$ 732,489.73</b>
<b>Total Expenses</b>	<b>\$ 865,666.57</b>	<b>\$ 821,140.95</b>	<b>\$ 44,525.62</b>	<b>\$ 849,173.94</b>
<b>Income (Loss) from Operations</b>	<b>\$ (22,330.70)</b>	<b>\$ (500.00)</b>	<b>\$ (21,830.70)</b>	<b>\$ (5,838.07)</b>
<b><u>Other Income (Expense)</u></b>				
Interest Income	\$ 5,838.07	\$ 500.00	\$ 5,338.07	\$ 5,838.07
<b>Total Other Income (Expense)</b>	<b>\$ 5,838.07</b>	<b>\$ 500.00</b>	<b>\$ 5,338.07</b>	<b>\$ 5,838.07</b>
<b>Net Income (Loss)</b>	<b>\$ (16,492.63)</b>	<b>\$ -</b>	<b>\$ (16,492.63)</b>	<b>\$ -</b>

Greenway Improvement District  
FY 2018-2019 Adopted Debt Service Budget  
Series 2013 Special Assessment Bonds

	FY 2018-2019 Adopted Budget
REVENUES:	
Special Assessments Series 2013	\$ 4,815,050.00
TOTAL REVENUES	<u>\$ 4,815,050.00</u>
EXPENDITURES:	
Series 2013 - Interest 11/01/2018	\$1,280,225.00
Series 2013 - Principal 05/01/2019	\$1,000,000.00
Series 2013 - Interest 05/01/2019	\$1,280,225.00
TOTAL EXPENDITURES	<u>\$ 3,560,450.00</u>
EXCESS REVENUES	<u>\$ 1,254,600.00</u>
Series 2013 - Interest 11/01/2019	\$ 1,254,600.00

# **GREENEWAY IMPROVEMENT DISTRICT**

**Requisition Nos. 665 – 668 & 2018-31 – 2018-36  
Approved in October 2019 in an amount totaling  
\$981,967.04**

# GREENEWAY IMPROVEMENT DISTRICT

DISTRICT OFFICE • 12051 CORPORATE BLVD • ORLANDO, FL 32817

PHONE: (407) 382-3256 • FAX: (407) 382-3254

## **Requisition Recap For Board Approval**

Attached please find the listing of requisitions approved to be paid from bond funds from October 1, 2019 through October 31, 2019. This does not include requisitions previously approved by the Board.

REQUISITION NO.	PAYEE	AMOUNT
665	Hopping Green & Sams	\$282.00
666	Orlando Sentinel	\$75.42
667	Greeneway Improvement District	\$6,360.14
668	Orlando Sentinel	\$94.17
2018-031	Donald W. McIntosh Associates	\$28,117.77
2018-032	Jr. Davis Construction	\$629,173.45
2018-033	Dix.Hite + Partners	\$750.00
2018-034	Donald W. McIntosh Associates	\$44,324.31
2018-035	Jr. Davis Construction	\$218,965.80
2018-036	Donald W. McIntosh Associates	\$53,823.98
		<b>\$981,967.04</b>



**GREENWAY IMPROVEMENT DISTRICT  
SPECIAL ASSESSMENT REVENUE BONDS  
2013**

(Acquisition and Construction Fund)

The undersigned, a Responsible Officer of the Greenway Improvement District (the "District") hereby submits the following requisition for disbursement under and pursuant to the terms of the Master Trust Indenture from the District to U. S. Bank National Association, as trustee (the "Trustee"), dated as of April 1, 2013, as supplemented by that certain First Supplemental Trust Indenture dated as of April 1, 2013 (the "Indenture"), (all capitalized terms used herein shall have the meaning ascribed to such term in the Indenture):

- (A) **Requisition Number:** 665
- (B) **Name of Payee:** Hopping Green & Sams
- (C) **Amount Payable:** \$282.00
- (D) **Purpose for which paid or incurred (refer also to specific contract if amount is due and payable pursuant to a contract involving progress payments):**
  - 1. Invoice 109683 for Project Construction through 07/31/2019 – \$282.00
- (E) **Fund or Account and subaccount, if any, from which disbursement to be made:** 2013 Acquisition and Construction Account of the Acquisition and Construction Fund.

The undersigned hereby certifies that:

- 1. obligations in the stated amount set forth above have been incurred by the District,
- 2. each disbursement set forth above is a proper charge against the 2013 Acquisition and Construction Account;
- 3. each disbursement set forth above was incurred in connection with the acquisition of the 2013 Project and in accordance with the terms of the Acquisition Agreement;

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The undersigned hereby further certifies that there has not been filed with or served upon the District notice of any lien, right to lien, or attachment upon, or claim affecting the right to receive payment of, any of the moneys payable to the Payee set forth above, which has not been released or will not be released simultaneously with the payment hereof.

The undersigned hereby further certifies that such requisition contains no item representing payment on account of any retained percentage which the District is at the date of such certificate entitled to retain.

Attached hereto are originals of the invoice(s) from the vendor of the property acquired or the services rendered with respect to which disbursement is hereby requested.

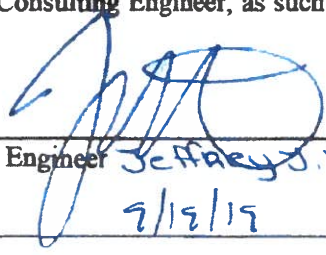
GREENEWAY IMPROVEMENT  
DISTRICT

  
Responsible Officer

Date: 10.2.19

CONSULTING ENGINEER'S APPROVAL

The undersigned Consulting Engineer hereby certifies that this disbursement is for the cost of the 2013 Project and is consistent with: (i) the applicable acquisition or construction contract; (ii) the plans and specifications for the portion of the 2013 Project with respect to which such disbursement is being made; and (iii) the report of the Consulting Engineer, as such report shall have been amended or modified.

  
Consulting Engineer

Date: 9/13/19

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**GREENEWAY IMPROVEMENT DISTRICT  
SPECIAL ASSESSMENT REVENUE BONDS  
2013**

(Acquisition and Construction Fund)

The undersigned, a Responsible Officer of the Greeneway Improvement District (the "District") hereby submits the following requisition for disbursement under and pursuant to the terms of the Master Trust Indenture from the District to U. S. Bank National Association, as trustee (the "Trustee"), dated as of April 1, 2013, as supplemented by that certain First Supplemental Trust Indenture dated as of April 1, 2013 (the "Indenture"), (all capitalized terms used herein shall have the meaning ascribed to such term in the Indenture):

- (A) **Requisition Number:** 666
- (B) **Name of Payee:** Orlando Sentinel
- (C) **Amount Payable:** \$75.42
- (D) **Purpose for which paid or incurred (refer also to specific contract if amount is due and payable pursuant to a contract involving progress payments):**
  - 1. Invoice 9990686000 for Reference OSC9990686 (Ad #6421089) for Legal Advertising Through 09/08/2019, split 3 ways – **\$75.42**
- (E) **Fund or Account and subaccount, if any, from which disbursement to be made:** 2013 Acquisition and Construction Account of the Acquisition and Construction Fund.

The undersigned hereby certifies that:

- 1. obligations in the stated amount set forth above have been incurred by the District,
- 2. each disbursement set forth above is a proper charge against the 2013 Acquisition and Construction Account;
- 3. each disbursement set forth above was incurred in connection with the acquisition of the 2013 Project and in accordance with the terms of the Acquisition Agreement;

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The undersigned hereby further certifies that there has not been filed with or served upon the District notice of any lien, right to lien, or attachment upon, or claim affecting the right to receive payment of, any of the moneys payable to the Payee set forth above, which has not been released or will not be released simultaneously with the payment hereof.

The undersigned hereby further certifies that such requisition contains no item representing payment on account of any retained percentage which the District is at the date of such certificate entitled to retain.

Attached hereto are originals of the invoice(s) from the vendor of the property acquired or the services rendered with respect to which disbursement is hereby requested.

GREENWAY IMPROVEMENT  
DISTRICT

Responsible Officer

Date:

Richard E. Lopez

10.2.19

#### CONSULTING ENGINEER'S APPROVAL

The undersigned Consulting Engineer hereby certifies that this disbursement is for the cost of the 2013 Project and is consistent with: (i) the applicable acquisition or construction contract; (ii) the plans and specifications for the portion of the 2013 Project with respect to which such disbursement is being made; and (iii) the report of the Consulting Engineer, as such report shall have been amended or modified.

Consulting Engineer

Date:

Jeffrey Newton P.E.

9/24/19

RECEIVED OCT 02 2019

**GREENWAY IMPROVEMENT DISTRICT  
SPECIAL ASSESSMENT REVENUE BONDS  
2013**

(Acquisition and Construction Fund)

The undersigned, a Responsible Officer of the Greenway Improvement District (the "District") hereby submits the following requisition for disbursement under and pursuant to the terms of the Master Trust Indenture from the District to U. S. Bank National Association, as trustee (the "Trustee"), dated as of April 1, 2013, as supplemented by that certain First Supplemental Trust Indenture dated as of April 1, 2013 (the "Indenture"), (all capitalized terms used herein shall have the meaning ascribed to such term in the Indenture):

- (A) **Requisition Number:** 667
- (B) **Name of Payee:** Greenway Improvement District
- (C) **Amount Payable:** \$6,360.14
- (D) **Purpose for which paid or incurred (refer also to specific contract if amount is due and payable pursuant to a contract involving progress payments):**
  - 1. Reimbursement to District for Lake Nona Kellogg Avenue Project Plan Review Fees Paid from O&M Funds to City of Orlando – **\$4,968.14**
  - 2. Reimbursement to District for Lake Nona Nemours Parkway Phase 6 Lift Station Project Work Order Paid from O&M Funds to Orlando Utilities Commission – **\$1,392.00**
- (E) **Fund or Account and subaccount, if any, from which disbursement to be made:** 2013 Acquisition and Construction Account of the Acquisition and Construction Fund.

The undersigned hereby certifies that:

- 1. obligations in the stated amount set forth above have been incurred by the District,
- 2. each disbursement set forth above is a proper charge against the 2013 Acquisition and Construction Account;
- 3. each disbursement set forth above was incurred in connection with the acquisition of the 2013 Project and in accordance with the terms of the Acquisition Agreement;

**RECEIVED OCT 14 2019**

The undersigned hereby further certifies that there has not been filed with or served upon the District notice of any lien, right to lien, or attachment upon, or claim affecting the right to receive payment of, any of the moneys payable to the Payee set forth above, which has not been released or will not be released simultaneously with the payment hereof.

The undersigned hereby further certifies that such requisition contains no item representing payment on account of any retained percentage which the District is at the date of such certificate entitled to retain.

Attached hereto are originals of the invoice(s) from the vendor of the property acquired or the services rendered with respect to which disbursement is hereby requested.

GREENEWAY IMPROVEMENT  
DISTRICT

  
Responsible Officer

Date: 10/14/19

#### CONSULTING ENGINEER'S APPROVAL

The undersigned Consulting Engineer hereby certifies that this disbursement is for the cost of the 2013 Project and is consistent with: (i) the applicable acquisition or construction contract; (ii) the plans and specifications for the portion of the 2013 Project with respect to which such disbursement is being made; and (iii) the report of the Consulting Engineer, as such report shall have been amended or modified.

  
Consulting Engineer

Date: 10/17/19

RECEIVED OCT 14 2019

**GREENWAY IMPROVEMENT DISTRICT  
SPECIAL ASSESSMENT REVENUE BONDS  
2013**

(Acquisition and Construction Fund)

The undersigned, a Responsible Officer of the Greenway Improvement District (the "District") hereby submits the following requisition for disbursement under and pursuant to the terms of the Master Trust Indenture from the District to U. S. Bank National Association, as trustee (the "Trustee"), dated as of April 1, 2013, as supplemented by that certain First Supplemental Trust Indenture dated as of April 1, 2013 (the "Indenture"), (all capitalized terms used herein shall have the meaning ascribed to such term in the Indenture):

- (A) **Requisition Number:** 668
- (B) **Name of Payee:** Orlando Sentinel
- (C) **Amount Payable:** \$94.17
- (D) **Purpose for which paid or incurred (refer also to specific contract if amount is due and payable pursuant to a contract involving progress payments):**
  - 1. Invoice 11137573000 for Reference OSC11137573 (Ad #6441284) for Legal Advertising Through 10/06/2019, split 3 ways – \$94.17
- (E) **Fund or Account and subaccount, if any, from which disbursement to be made:** 2013 Acquisition and Construction Account of the Acquisition and Construction Fund.

The undersigned hereby certifies that:

- 1. obligations in the stated amount set forth above have been incurred by the District,
- 2. each disbursement set forth above is a proper charge against the 2013 Acquisition and Construction Account;
- 3. each disbursement set forth above was incurred in connection with the acquisition of the 2013 Project and in accordance with the terms of the Acquisition Agreement;

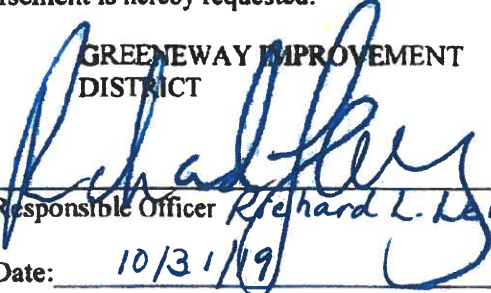
**RECEIVED OCT 31 2019**



The undersigned hereby further certifies that there has not been filed with or served upon the District notice of any lien, right to lien, or attachment upon, or claim affecting the right to receive payment of, any of the moneys payable to the Payee set forth above, which has not been released or will not be released simultaneously with the payment hereof.

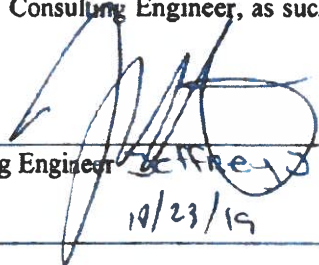
The undersigned hereby further certifies that such requisition contains no item representing payment on account of any retained percentage which the District is at the date of such certificate entitled to retain.

Attached hereto are originals of the invoice(s) from the vendor of the property acquired or the services rendered with respect to which disbursement is hereby requested.

GREENWAY IMPROVEMENT  
DISTRICT  
  
Responsible Officer Richard L. Leroy  
Date: 10/31/19

#### CONSULTING ENGINEER'S APPROVAL

The undersigned Consulting Engineer hereby certifies that this disbursement is for the cost of the 2013 Project and is consistent with: (i) the applicable acquisition or construction contract; (ii) the plans and specifications for the portion of the 2013 Project with respect to which such disbursement is being made; and (iii) the report of the Consulting Engineer, as such report shall have been amended or modified.

  
Consulting Engineer Jeffrey J. Newton P.E.  
Date: 10/23/19

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**GREENWAY IMPROVEMENT DISTRICT  
REQUISITION FOR PAYMENT AND  
2018 NOTE REQUISITION AND CONSTRUCTION ACCOUNT**

DATE:	September 16, 2019	REQUISITION NO:	031
PAYEE:	Donald W. McIntosh Associates	AMOUNT DUE:	\$28,117.77
ADDRESS:	2200 Park Avenue North Winter Park, FL 32789	FUND:	Acquisition/Construction
ITEM:	<ul style="list-style-type: none"><li>• Invoice 36803 for Project 23216 (Lake Nona Greenway) Through 06/14/2019 - \$4,822.50</li><li>• Invoice 36808 for Project 14052 (Nemours Parkway Phase 6 Design &amp; Permit Segment Weller Blvd to Laureate Pk Ph 3B) Through 06/14/2019 - \$4,767.75</li><li>• Invoice 36813 for Project 18129 (Nemours Parkway Phase 7 - Construction Phase Services - GID) Through 06/14/2019 - \$1,733.66</li><li>• Invoice 36895 for Project 23216 (Lake Nona Greenway) Through 07/12/2019 - \$4,365.00</li><li>• Invoice 36900 for Project 14052 (Nemours Parkway Phase 6 Design &amp; Permit Segment Weller Blvd to Laureate Pk Ph 3B) Through 07/12/2019 - \$5,592.00</li><li>• Invoice 36901 for Project 16106 (Nemours Parkway Phase 7 Design and Permitting and Lift Station No. 7) Through 07/12/2019 - \$3,405.23</li><li>• Invoice 36903 for Project 18129 (Nemours Parkway Phase 7 - Construction Phase Services - GID) Through 07/12/2019 - \$3,431.63</li></ul>		

The undersigned hereby certifies that obligations in the stated amount set forth above have been incurred by the District, that each disbursement set forth above is a proper charge against the 2018 Acquisition and Construction Account, referenced above, that each disbursement set forth above was incurred in connection with the acquisition and the construction of the 2018 Project (herein after the "Project") and each represents a Cost of the Project, and has not previously been paid.

The undersigned hereby further certifies that there has not been filed with or served upon the District notice of any lien, right to lien, or attachment upon, or claim affecting the right to receive payment of, any of the monies payable to the Payee set forth above, which has not been released or will not be released simultaneously with the payment hereof

The undersigned hereby further certifies that such requisition contains no item representing payment on account of any retained percentage, which the District is at the date of such certificate entitled to retain.

It is hereby represented by the undersigned that the Governing Body of the District has approved this requisition or has approved the specific contract with respect to which disbursements pursuant to this requisition are due and payable.

Attached hereto are photocopies of the invoice(s) from the vendor of the property acquired or services rendered with respect to which disbursement is hereby requested.

GREENWAY IMPROVEMENT DISTRICT

BY:

  
CHAIRMAN or VICE CHAIRMAN

**DISTRICT ENGINEER'S APPROVAL FOR PROJECT EXPENDITURES**

The undersigned District Engineer hereby certifies that this disbursement is for a cost of the 2018 Project and is consistent with: (i) the applicable or construction contract; (ii) the plans and specifications for the portion of the 2018 Project with respect to which such disbursement is being made; and (iii) the report of the District Engineer.

BY:

  
DISTRICT ENGINEER Jeffrey J. Newton, P.E.

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**EXHIBIT A**

**GREENWAY IMPROVEMENT DISTRICT  
REQUISITION FOR PAYMENT AND  
2018 NOTE REQUISITION AND CONSTRUCTION ACCOUNT**

DATE:	September 16, 2019	REQUISITION NO:	032
PAYEE:	Jr. Davis Construction Co., Inc.	AMOUNT DUE:	\$629,173.45
ADDRESS:	210 S. Hoagland Blvd. Kissimmee, FL 34741	FUND:	Acquisition/Construction
ITEM:	Invoice 125455 (Pay Application #11) for Project 1961 (Nemours Parkway Ph. 7) Through 08/25/2019		

The undersigned hereby certifies that obligations in the stated amount set forth above have been incurred by the District, that each disbursement set forth above is a proper charge against the 2018 Acquisition and Construction Account, referenced above, that each disbursement set forth above was incurred in connection with the acquisition and the construction of the 2018 Project (herein after the "Project") and each represents a Cost of the Project, and has not previously been paid.

The undersigned hereby further certifies that there has not been filed with or served upon the District notice of any lien, right to lien, or attachment upon, or claim affecting the right to receive payment of, any of the monies payable to the Payee set forth above, which has not been released or will not be released simultaneously with the payment hereof.

The undersigned hereby further certifies that such requisition contains no item representing payment on account of any retained percentage, which the District is at the date of such certificate entitled to retain.

It is hereby represented by the undersigned that the Governing Body of the District has approved this requisition or has approved the specific contract with respect to which disbursements pursuant to this requisition are due and payable.

Attached hereto are photocopies of the invoice(s) from the vendor of the property acquired or services rendered with respect to which disbursement is hereby requested.

GREENWAY IMPROVEMENT DISTRICT

BY:

CHAIRMAN or VICE CHAIRMAN

Richard L. Leary

**DISTRICT ENGINEER'S APPROVAL FOR PROJECT EXPENDITURES**

The undersigned District Engineer hereby certifies that this disbursement is for a cost of the 2018 Project and is consistent with: (i) the applicable or construction contract; (ii) the plans and specifications for the portion of the 2018 Project with respect to which such disbursement is being made; and, (iii) the report of the District Engineer.

BY:

DISTRICT ENGINEER

Jeffrey S. Newton, P.E.

RECEIVED OCT 02 2019

## EXHIBIT A

### GREENWAY IMPROVEMENT DISTRICT REQUISITION FOR PAYMENT AND 2018 NOTE REQUISITION AND CONSTRUCTION ACCOUNT

DATE:	October 4, 2019	REQUISITION NO:	033
PAYEE:	Dix.Hite + Partners	AMOUNT DUE:	\$750.00
ADDRESS:	150 West Jessup Avenue Longwood, FL 32750	FUND:	Acquisition/Construction
ITEM:	Invoice 1909060 for Project 21646.2 (Nemours Pkwy Phase 6) Through 09/20/2019		

The undersigned hereby certifies that obligations in the stated amount set forth above have been incurred by the District, that each disbursement set forth above is a proper charge against the 2018 Acquisition and Construction Account, referenced above, that each disbursement set forth above was incurred in connection with the acquisition and the construction of the 2018 Project (herein after the "Project") and each represents a Cost of the Project, and has not previously been paid.

The undersigned hereby further certifies that there has not been filed with or served upon the District notice of any lien, right to lien, or attachment upon, or claim affecting the right to receive payment of, any of the monies payable to the Payee set forth above, which has not been released or will not be released simultaneously with the payment hereof.

The undersigned hereby further certifies that such requisition contains no item representing payment on account of any retained percentage, which the District is at the date of such certificate entitled to retain.

It is hereby represented by the undersigned that the Governing Body of the District has approved this requisition or has approved the specific contract with respect to which disbursements pursuant to this requisition are due and payable.

Attached hereto are photocopies of the invoice(s) from the vendor of the property acquired or services rendered with respect to which disbursement is hereby requested.

GREENWAY IMPROVEMENT DISTRICT

BY:

CHAIRMAN or VICE CHAIRMAN

*Richard L. Hedy*

### DISTRICT ENGINEER'S APPROVAL FOR PROJECT EXPENDITURES

The undersigned District Engineer hereby certifies that this disbursement is for a cost of the 2018 Project and is consistent with: (i) the applicable or construction contract; (ii) the plans and specifications for the portion of the 2018 Project with respect to which such disbursement is being made; and, (iii) the report of the District Engineer.

BY:

DISTRICT ENGINEER

*Jeffrey J. Newton, P.E.* 12/9/19

**GREENWAY IMPROVEMENT DISTRICT  
REQUISITION FOR PAYMENT AND  
2018 NOTE REQUISITION AND CONSTRUCTION ACCOUNT**

<b>DATE:</b>	October 4, 2019	<b>REQUISITION NO:</b>	034
<b>PAYEE:</b>	Donald W. McIntosh Associates	<b>AMOUNT DUE:</b>	\$44,324.31
<b>ADDRESS:</b>	2200 Park Avenue North Winter Park, FL 32789	<b>FUND:</b>	Acquisition/Construction
<b>ITEM:</b>	<ul style="list-style-type: none"><li>• Invoice 37080 for Project 23216 (Lake Nona Greenway) Through 09/06/2019 – \$5,073.11</li><li>• Invoice 37085 for Project 14052 (Nemours Parkway Phase 6 Design &amp; Permit Segment Weller Blvd to Laureate Pk Ph 3B) Through 09/06/2019 – \$120.90</li><li>• Invoice 37086 for Project 16106 (Nemours Parkway Phase 7 Design and Permitting and Lift Station No. 7) Through 09/06/2019 – \$2,965.00</li><li>• Invoice 37088 for Project 18129 (Nemours Parkway Phase 7 – Construction Phase Services – GID) Through 09/06/2019 – \$2,591.70</li><li>• Invoice 37089 for Project 18140 (Centerline Drive – Segments A &amp; B) Through 09/06/2019 – \$10,817.00</li><li>• Invoice 37090 for Project 18141 (Centerline Drive – Segments C &amp; D) Through 09/06/2019 – \$22,756.60</li></ul>		

The undersigned hereby certifies that obligations in the stated amount set forth above have been incurred by the District, that each disbursement set forth above is a proper charge against the 2018 Acquisition and Construction Account, referenced above, that each disbursement set forth above was incurred in connection with the acquisition and the construction of the 2018 Project (herein after the "Project") and each represents a Cost of the Project, and has not previously been paid.

The undersigned hereby further certifies that there has not been filed with or served upon the District notice of any lien, right to lien, or attachment upon, or claim affecting the right to receive payment of, any of the monies payable to the Payee set forth above, which has not been released or will not be released simultaneously with the payment hereof.

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It is hereby represented by the undersigned that the Governing Body of the District has approved this requisition or has approved the specific contract with respect to which disbursements pursuant to this requisition are due and payable.

Attached hereto are photocopies of the invoice(s) from the vendor of the property acquired or services rendered with respect to which disbursement is hereby requested.

GREENWAY IMPROVEMENT DISTRICT

BY:   
CHAIRMAN or VICE CHAIRMAN  
*Richard A. Kerec*

**DISTRICT ENGINEER'S APPROVAL FOR PROJECT EXPENDITURES**

The undersigned District Engineer hereby certifies that this disbursement is for a cost of the 2018 Project and is consistent with: (i) the applicable or construction contract; (ii) the plans and specifications for the portion of the 2018 Project with respect to which such disbursement is being made; and (iii) the report of the District Engineer.

BY:  10/9/19  
DISTRICT ENGINEER *Jeffrey J. Newton, P.E.*

**RECEIVED OCT 14 2019**



## EXHIBIT A

### GREENWAY IMPROVEMENT DISTRICT REQUISITION FOR PAYMENT AND 2018 NOTE REQUISITION AND CONSTRUCTION ACCOUNT

DATE:	October 18, 2019	REQUISITION NO:	035
PAYEE:	Jr. Davis Construction Co., Inc.	AMOUNT DUE:	\$218,965.80
ADDRESS:	210 S. Hoagland Blvd. Kissimmee, FL 34741	FUND:	Acquisition/Construction
ITEM:	Invoice 125538 (Pay Application #12) for Project 1961 (Nemours Parkway Ph. 7) Through 09/25/2019		

The undersigned hereby certifies that obligations in the stated amount set forth above have been incurred by the District, that each disbursement set forth above is a proper charge against the 2018 Acquisition and Construction Account, referenced above, that each disbursement set forth above was incurred in connection with the acquisition and the construction of the 2018 Project (herein after the "Project") and each represents a Cost of the Project, and has not previously been paid.

The undersigned hereby further certifies that there has not been filed with or served upon the District notice of any lien, right to lien, or attachment upon, or claim affecting the right to receive payment of, any of the monies payable to the Payee set forth above, which has not been released or will not be released simultaneously with the payment hereof.

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It is hereby represented by the undersigned that the Governing Body of the District has approved this requisition or has approved the specific contract with respect to which disbursements pursuant to this requisition are due and payable.

Attached hereto are photocopies of the invoice(s) from the vendor of the property acquired or services rendered with respect to which disbursement is hereby requested.

GREENWAY IMPROVEMENT DISTRICT

BY:

CHAIRMAN or VICE CHAIRMAN

Richard A. Leroy

10/31/19

### DISTRICT ENGINEER'S APPROVAL FOR PROJECT EXPENDITURES

The undersigned District Engineer hereby certifies that this disbursement is for a cost of the 2018 Project and is consistent with: (i) the applicable or construction contract; (ii) the plans and specifications for the portion of the 2018 Project with respect to which such disbursement is being made; and, (iii) the report of the District Engineer.

BY:

DISTRICT ENGINEER

Jeffrey J. Newton, P.E.

10/23/19

RECEIVED OCT 31 2019



GREENWAY IMPROVEMENT DISTRICT  
REQUISITION FOR PAYMENT AND  
2018 NOTE REQUISITION AND CONSTRUCTION ACCOUNT

DATE:	October 25, 2019	REQUISITION NO:	036
PAYEE:	Donald W. McIntosh Associates	AMOUNT DUE:	\$53,823.98
ADDRESS:	2200 Park Avenue North Winter Park, FL 32789	FUND:	Acquisition/Construction
ITEM:	<ul style="list-style-type: none"><li>• Invoice 37179 for Project 23216 (Lake Nona Greenway) Through 10/04/2019 – \$5,173.72</li><li>• Invoice 37184 for Project 14052 (Nemours Parkway Phase 6 Design &amp; Permit Segment Weller Blvd to Laureate Pk Ph 3B) Through 10/04/2019 – \$1,095.26</li><li>• Invoice 37185 for Project 16106 (Nemours Parkway Phase 7 Design and Permitting and Lift Station No. 7) Through 10/04/2019 – \$3,485.40</li><li>• Invoice 37187 for Project 17141 (Centerline Drive Phase 2 (fka Hartwell Court) Through 10/04/2019 – \$1,301.50</li><li>• Invoice 37189 for Project 18129 (Nemours Parkway Phase 7 – Construction Phase Services – GID) Through 10/04/2019 – \$8,224.90</li><li>• Invoice 37190 for Project 18140 (Centerline Drive – Segments A &amp; B) Through 10/04/2019 – \$12,925.50</li><li>• Invoice 37191 for Project 18141 (Centerline Drive – Segments C &amp; D) Through 10/04/2019 – \$21,617.70</li></ul>		

The undersigned hereby certifies that obligations in the stated amount set forth above have been incurred by the District, that each disbursement set forth above is a proper charge against the 2018 Acquisition and Construction Account, referenced above, that each disbursement set forth above was incurred in connection with the acquisition and the construction of the 2018 Project (herein after the "Project") and each represents a Cost of the Project, and has not previously been paid.

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GREENWAY IMPROVEMENT DISTRICT

BY:

Richard D. Sherry  
CHAIRMAN or VICE CHAIRMAN

10/31/19

DISTRICT ENGINEER'S APPROVAL FOR PROJECT EXPENDITURES

The undersigned District Engineer hereby certifies that this disbursement is for a cost of the 2018 Project and is consistent with: (i) the applicable or construction contract; (ii) the plans and specifications for the portion of the 2018 Project with respect to which such disbursement is being made; and, (iii) the report of the District Engineer.

BY:

Jeffrey D. Newton, P.E.  
DISTRICT ENGINEER

10/30/19

RECEIVED OCT 31 2019

# **GREENEWAY IMPROVEMENT DISTRICT**

**Operation and Maintenance Expenditures Paid  
in October 2019 in an amount totaling \$22,707.58**

# **GREENEWAY IMPROVEMENT DISTRICT**

DISTRICT OFFICE • 12051 CORPORATE BLVD • ORLANDO, FL 32817

PHONE: (407) 382-3256 • FAX: (407) 382-3254

## **Operation and Maintenance Expenditures For Board Approval**

Attached please find the check register listing Operations and Maintenance expenditures paid from October 1, 2019 through October 31, 2019. This does not include expenditures previously approved by the Board.

The total items being presented:      **\$22,707.58**

Approval of Expenditures:

---

\_\_\_\_\_ Chairman

\_\_\_\_\_ Vice Chairman

\_\_\_\_\_ Assistant Secretary

**Greenway Improvement District**  
**AP Check Register (Current by Bank)**  
Check Dates: 10/1/2019 to 10/31/2019

Check No.	Date	Status*	Vendor ID	Payee Name	Amount
<b>BANK ID: SUN - CITY NATIONAL BANK</b>					<b>001-101-0000-00-01</b>
2806	10/01/19	P	OUC	Orlando Utilities Commission	\$1,392.00
2807	10/11/19	P	FDEP	FL Dept. of Environ. Protect.	\$75.00
2808	10/11/19	P	ORLS	Orlando Sentinel	\$200.00
2809	10/29/19	P	ASCC	All Star Custom Construction	\$3,850.00
2810	10/29/19	P	TRUSTE	US Bank as Trustee for Greenew	\$4,322.07
<b>BANK SUN REGISTER TOTAL:</b>					<b>\$9,839.07</b>
<b>GRAND TOTAL :</b>					<b>\$9,839.07</b>

9,839.07 Checks 2806 - 2810 cut  
12,868.51 PA 410 - OUC invoice paid

**22,707.58** Cash spent

# **GREENEWAY IMPROVEMENT DISTRICT**

**Recommendation of Work  
Authorizations/Proposed Services  
*(if applicable)***

**GREENEWAY IMPROVEMENT DISTRICT**

**Recommendation for Work Authorization / Proposed Services**

Project Name: GID – Centerline Drive Segment C

Brief Description: Underground locates for Centerline Drive Road Construction Plans.

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

Name of Consultant /Vendor: Central Florida Locating, Inc.

Is this work pursuant to an existing Agreement? \_\_\_\_\_ Yes ☒ No

If so, name and date of Agreement: \_\_\_\_\_

Is this project included in the District Capital Improvement Plan? ☒ Yes \_\_\_\_\_ No

Are the services required contemplated in the Capital Improvement Plan? ☒ Yes \_\_\_\_\_ No

Is this a continuation of previously authorized work? ☒ Yes \_\_\_\_\_ No

Proposal attached: ☒ Yes \_\_\_\_\_ No

Form of Agreement Utilized: Proposal

Amount of Services: \$ 1,160.00

Recommendation: ☒ Approve \_\_\_\_\_ Deny

By:

 11/10/19

Larry Kaufmann, Chairman  
Greeneway Improvement District Construction Committee

c: Jennifer Walden  
Tucker Mackie  
Jeffrey Newton  
Lynne Mullins





PO Box 1468  
Bushnell, FL 33513  
833-229-2227  
cfl-inc.com

Central Florida Locating, Inc.  
dba CFL Geological Solutions

Date: 11-7-19  
Client: Greenway Improvement District, 12051 Corporate Blvd, Orlando, FL 32817  
Attn: Mr. Richard Levey, Chairman, Board of Supervisors  
E-Mail: Scott Grossman, PSM, Senior Vice President, Donald W. McIntosh Associates, Inc. <[sgrossman@dwma.com](mailto:sgrossman@dwma.com)>  
Project: Lake Nona South – VAMC Access Road, Hartwell Ct, Orlando, FL – **Additional Area** **CFL 19303**

CFL is pleased to provide a proposal to Greenway Improvement District for the additional area based upon scope of services requested by Scott Grossman of D.W. McIntosh Associates (DWMA), may be subject to change should the requirements change, is valid for thirty (30) days from date of proposal, and is Non-Transferrable.

**SCOPE OF SERVICES - See Page 2 for Information/Limitations**

**Geophysical Horizontal Utility Locating: 2D Ground Penetrating Radar (GPR) and Electromagnetic (EM)**

- CFL will utilize 2D GPR and EM technologies to horizontally locate underground utilities within the red outlined area as shown on the attached print provided by Scott Grossman of DWMA. The exact locate area will need to be designated at time of work by DWMA.
- CFL will use paint and flags to mark located utilities and will provide a technician's field drawing of located utilities.
- CFL's scope of services does not include the locating of abandoned utilities that are no longer locatable, vacant conduits, gravity sewer, storm lines, small irrigation lines, and low voltage lines.
- *Client is responsible for ensuring that all electrical and lighting systems are energized and that all lights with outdoor light sensor systems are in use at time of locate work.*

**Notes:**

- *If available, CFL requests that client provide as-builts, engineering prints, etc. of existing utilities.*
- *GPR Scans & EM Locating can only be performed in accessible areas that are clear of obstacles such as construction materials, pipes, vehicles, machinery, dirt/materials mounds, landscaping, trees, uneven terrain, water, etc.*
- *If needed, CFL can provide a quote for additional detection technologies such as 3D GPR, 3D GPR Array, and Magnetometer that typically provide additional/more comprehensive data.*

**WEEKDAY DAYTIME COST**

Geophysical Horizontal Locating: -----**\$1,160.00**

**PAYMENT**

- A Lump Sum invoice will be submitted via e-mail to client upon completion of locate work.
- Lump Sum amount is due in full with no job retainage.
- Payments not received within 30 days of date of invoice may result in legal actions.

**SCHEDULE**

A work start date will be provided upon receiving an Authorization to Proceed.

Regards,

*Sandra Rickerson*

Sandra Rickerson, President  
Central Florida Locating, Inc.

**AUTHORIZATION TO PROCEED (ATP) – Executed CFL Proposal**

ATP - Client legally authorizes CFL to proceed and acknowledges that scope of services, compensation, payment terms, and terms and conditions in this proposal are accepted.

**Client:** Greenway Improvement District

**Date:** \_\_\_\_\_

**By:** \_\_\_\_\_  
Authorized Agent's Signature

**Printed Name:** \_\_\_\_\_  
Printed Name of Authorized Agent

**Job Number/Name (If Applicable):** \_\_\_\_\_

**E-MAIL Address for Invoice:** \_\_\_\_\_

**E-MAIL EXECUTED DOCUMENT TO:** [Contracts@cfl-inc.com](mailto:Contracts@cfl-inc.com)

**Innovative and Reliable Solutions**



### **(A) LIMITS OF GPR AND ELECTROMAGNETIC SERVICES: If Services are Provided**

CFL will make every effort to horizontally detect the underground utilities, objects or voids described in the Scope of Work or as requested at the time of work within the designated work area(s). However, CFL cannot mark utilities/objects/voids that are undetectable. Therefore, CFL **cannot guarantee** that all subsurface utilities/objects/voids will be accounted for. Locate limitations that CFL will not be held liable for include but are not limited to:

- **GROUND PENETRATING RADAR (GPR):**
  - GPR investigations are highly site specific and can be limited by attenuation of GPR signals by subsurface materials.
  - GPR investigations are limited by uneven terrain conditions, bushes, trees, debris, etc.
  - All vertically stacked utilities/objects may not be detected since GPR signals are reflected by the top most utility/object.
  - Some utilities/objects may not return a reflected signal to the GPR receiver.
  - GPR scans cannot be made immediately next to buildings/objects due to equipment restrictions.
  - Pipes with little or no liquid content at time of locate work may not be detected with GPR.
- **ELECTROMAGNETIC LOCATING :**
  - The number of access points within designated locate area(s) may be limited or non-existent.
  - Utility or property owner may restrict or deny the use of utility access points.
  - Utility may not adequately carry the imposed current from the electromagnetic locate equipment.
  - Fiber & other non-metallic lines with no or non-working tracer wire are untoneable with electromagnetic locate equipment.

### **(B) DESIGN ENGINEER and CONTRACTORS**

Due to locate limitations, the client's/owner's **Design Engineer** is expected to gather and identify existing facility information from various prints and underground facility owners/operators to confirm that no other subsurface utilities/objects are present in the project area, and **Contractors** are responsible to abide by Florida Statutes 556.106 - Sunshine 811.

### **(C) FIELD DRAWINGS/PRINTS/REPORTS**

CFL is not liable for any print, survey, field drawing or report that identifies or fails to identify CFL detected utilities or objects. CFL field drawings represent the requested scope of services within designated area(s) as of date of work; may not reflect a comprehensive utility survey of all subsurface utilities/objects; are not technical drawings created by a professional such as surveyor, engineer, or draftsman; are not drawn to scale and only depict an approximate location of referenced utilities/objects; are not created based on any type of drawing standards; and are for informational purposes only.

### **(D) MACHINE DEPTHS: If Service is Provided**

Machine depths are approximate readings, **are not guaranteed depths**, are provided for informational purposes only, and should not be relied upon for any type of subsurface work. CFL will not accept any responsibility for actions taken based on provided machine depths.

### **(E) VERTICAL EXCAVATION (DIRT SOFT DIG): Information/Limitations: If Service is Provided**

Soft Digs are made within grassed or otherwise unpaved surface conditions to a maximum depth of approximately 8 feet to determine the depth of the utility/object. If requested, CFL also will provide the size and material type.

- Soft Dig vertical depth measurements are made from the top of each exposed utility/object to the ground surface.
- The vertical depth range and visual inspection ability is dependent on events such as ground water level.

### **(F) CORE BORE WITH VERTICAL EXCAVATION (DIRT SOFT DIG): Information/Limitations: If Service is Provided**

A Core Bore is made in asphalt or concrete to vertically expose a utility/object to determine the depth of the utility/object from the top of the utility/object to the pavement surface.

- Vertical Excavation limits apply (See Item E).
- Test hole will be backfilled with like materials compacted in 6" lifts or with a flowable fill mixture.
- The current asphalt thickness will be replaced with double asphalt thickness.

### **(G) DIRECT PUSH SOIL SAMPLING: Information/Limitations: If Service is Provided**

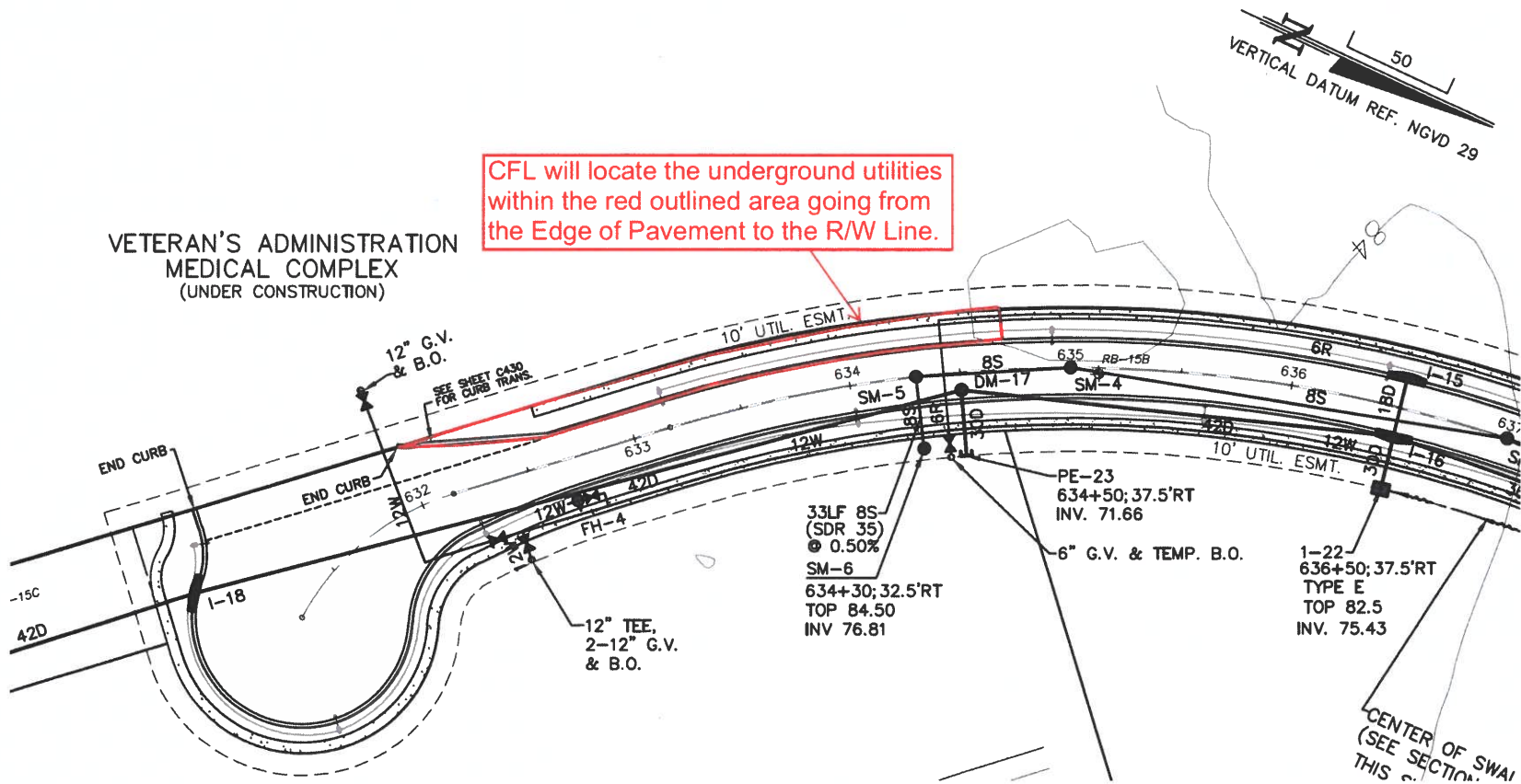
Direct Push Soil Sampling limitations that CFL will not be held liable for include but are not limited to:

- Direct push rods may not penetrate to desired depth due to subsurface sediment and/or material hardness.
- Direct push rods may not penetrate through consolidated sediment, rock and/or debris.

### **(H) CERTIFICATE OF INS (COI): New/Revised COI Requests**

- Client COI requirements must be provided to CFL prior to the Authorization to Proceed being issued.
- CFL will invoice client for all costs associated with client COI requirements that incur billable charges to CFL.

CFL Utility Locate Site:  
VAMC Access Road  
Hartwell Ct, Orlando, FL



**Central Florida Locating, Inc.**  
**-CFL Geological Solutions**

114 N Jumper Drive  
Bushnell, FL 33513  
Office: (352) 793-4246  
Fax: (352) 793-8675

*"Innovative and Reliable  
Subsurface Solutions"*

Client:	Greenway Improvement District	Date:	11/7/19	<small>Additional Notes</small> Central Florida Locating, Inc. (CFL) is an Associate Member of the Florida Society of Professional Surveyors (FSPS). Central Florida Locating, Inc. (CFL) is a Florida Licensed Geophysical Services (GS) firm. Disclaimer: Central Florida Locating, Inc. (CFL) will not be held responsible for any information provided in this drawing, any action taken as a result of relying on this drawing, or any utilities located and not listed in this drawing. Furthermore, CFL cannot guarantee that all utilities and voids have been accounted for and cannot be held liable for undetected utilities/voids. If digging in any of the areas depicted in this drawing, please call CFL at (352) 793-4246 to have the utilities located. This drawing may not be reproduced without the written consent of CFL.
Project:	Lake Nona South - VAMC Access Road		Proposal	
Methods:	2D Ground Penetrating Radar (2D GPR) and Electromagnetic (EM)	Sheet:	1 of 1	



# **GREENEWAY IMPROVEMENT DISTRICT**

**District's Financial Position and  
Budget to Actual YTD**



**Greenway Improvement District**  
**Budget to Actual**  
**For the Month Ending 09/30/2019**

	YTD Actual	YTD Budget	YTD Variance	FY 2019 Adopted Budget
<b><u>Revenues</u></b>				
On-Roll Assessments	\$ 430,350.69	\$ 463,963.98	\$ (33,613.29)	\$ 463,963.98
Off-Roll Assessments	412,985.18	356,676.97	56,308.21	356,676.97
<b>Net Revenues</b>	<b>\$ 843,335.87</b>	<b>\$ 820,640.95</b>	<b>\$ 22,694.92</b>	<b>\$ 820,640.95</b>
<b><u>General &amp; Administrative Expenses</u></b>				
<b>Legislative</b>				
Supervisor Fees	\$ 3,800.00	\$ 7,200.00	\$ (3,400.00)	\$ 7,200.00
<b>Financial &amp; Administrative</b>				
Public Officials' Liability Insurance	2,244.00	2,500.00	(256.00)	2,500.00
Trustee Services	3,928.39	2,500.00	1,428.39	2,500.00
Management	39,999.96	40,000.00	(0.04)	40,000.00
Engineering	9,425.00	10,000.00	(575.00)	10,000.00
Dissemination Agent	5,000.00	5,000.00	-	5,000.00
Property Appraiser	1,672.00	1,500.00	172.00	1,500.00
District Counsel	25,202.51	22,000.00	3,202.51	22,000.00
Assessment Administration	7,500.00	7,500.00	-	7,500.00
Audit	4,395.00	5,500.00	(1,105.00)	5,500.00
Travel and Per Diem	244.63	150.00	94.63	150.00
Telephone	324.83	500.00	(175.17)	500.00
Postage & Shipping	1,064.01	500.00	564.01	500.00
Copies	2,604.15	2,000.00	604.15	2,000.00
Legal Advertising	7,130.86	3,800.00	3,330.86	3,800.00
Bank Fees	-	50.00	(50.00)	50.00
Miscellaneous	215.55	2,500.00	(2,284.45)	2,500.00
Property Taxes	477.29	1,500.00	(1,022.71)	1,500.00
Web Site Maintenance	1,280.99	1,250.00	30.99	1,250.00
Dues, Licenses, and Fees	175.00	175.00	-	175.00
<b>Total General &amp; Administrative Expenses</b>	<b>\$ 116,684.17</b>	<b>\$ 116,125.00</b>	<b>\$ 559.17</b>	<b>\$ 116,125.00</b>



**Greeneway Improvement District**  
**Budget to Actual**  
**For the Month Ending 09/30/2019**

	YTD Actual	YTD Budget	YTD Variance	FY 2019 Adopted Budget
<b><u>Field Operations</u></b>				
<b>Electric Utility Services</b>				
Electric	\$ 8,009.41	\$ 5,000.00	\$ 3,009.41	\$ 5,000.00
<b>Water-Sewer Combination Services</b>				
Water Reclaimed	47,078.15	20,000.00	27,078.15	20,000.00
<b>Other Physical Environment</b>				
General Insurance	2,525.00	3,000.00	(475.00)	3,000.00
Property & Casualty Insurance	5,987.00	-	5,987.00	-
Other Insurance	-	750.00	(750.00)	750.00
Irrigation	48,835.41	30,000.00	18,835.41	30,000.00
Landscaping Maintenance & Material	230,639.50	228,636.00	2,003.50	228,636.00
Tree Trimming	22,410.50	40,000.00	(17,589.50)	40,000.00
Flower & Plant Replacement	87,844.35	50,000.00	37,844.35	50,000.00
Contingency	23,156.83	17,614.00	5,542.83	17,614.00
Hurricane Cleanup	-	5,000.00	(5,000.00)	5,000.00
<b>Interchange Maintenance Expenses</b>				
IME - Aquatics Maintenance	3,607.20	3,816.00	(208.80)	3,816.00
IME - Irrigation	9,552.16	36,000.00	(26,447.84)	36,000.00
IME - Landscaping	99,783.65	88,253.28	11,530.37	88,253.28
IME - Lighting	16,040.44	20,000.00	(3,959.56)	20,000.00
IME - Miscellaneous	3,835.73	-	3,835.73	-
IME - Water Reclaimed	1,079.56	3,600.00	(2,520.44)	3,600.00
<b>Road &amp; Street Facilities</b>				
Entry and Wall Maintenance	3,000.00	3,000.00	-	3,000.00
Hardscape Maintenance	4,200.00	3,000.00	1,200.00	3,000.00
Streetlights	87,717.47	100,000.00	(12,282.53)	100,000.00
Accent Lighting	-	2,000.00	(2,000.00)	2,000.00
<b>Parks &amp; Recreation</b>				
Personnel Leasing Agreement	18,333.37	20,000.00	(1,666.63)	20,000.00
<b>Reserves</b>				
Infrastructure Capital Reserve	22,200.00	22,200.00	-	22,200.00
Interchange Maintenance Reserve	3,146.67	3,146.67	-	3,146.67
<b>Total Field Operations Expenses</b>	<b>\$ 748,982.40</b>	<b>\$ 705,015.95</b>	<b>\$ 43,966.45</b>	<b>\$ 705,015.95</b>
<b>Total Expenses</b>	<b>\$ 865,666.57</b>	<b>\$ 821,140.95</b>	<b>\$ 44,525.62</b>	<b>\$ 821,140.95</b>
<b>Income (Loss) from Operations</b>	<b>\$ (22,330.70)</b>	<b>\$ (500.00)</b>	<b>\$ (21,830.70)</b>	<b>\$ (500.00)</b>
<b><u>Other Income (Expense)</u></b>				
Interest Income	\$ 5,838.07	\$ 500.00	\$ 5,338.07	\$ 500.00
<b>Total Other Income (Expense)</b>	<b>\$ 5,838.07</b>	<b>\$ 500.00</b>	<b>\$ 5,338.07</b>	<b>\$ 500.00</b>
<b>Net Income (Loss)</b>	<b>\$ (16,492.63)</b>	<b>\$ -</b>	<b>\$ (16,492.63)</b>	<b>\$ -</b>

**Greenway Improvement District**  
Budget to Actual  
For the Month Ending 09/30/2019

	Oct-18	Nov-18	Dec-18	Jan-19	Feb-19	Mar-19	Apr-19	May-19	Jun-19	Jul-19	Aug-19	Sep-19	YTD Actual
<b>Revenues</b>													
On-Roll Assessments	\$ -	\$ 5,260.99	\$ 250,152.35	\$ 28,443.42	\$ 24,988.36	\$ 58,357.19	\$ 3,495.80	\$ 42,386.67	\$ 10,590.30	\$ 5,856.11	\$ 809.50	\$ -	\$ 430,350.69
Off-Roll Assessments	-	206,493.02	-	277.76	102,968.15	-	-	103,246.25	-	-	-	-	412,985.18
<b>Net Revenues</b>	<b>\$ -</b>	<b>\$ 211,754.01</b>	<b>\$ 250,152.35</b>	<b>\$ 28,721.18</b>	<b>\$ 127,956.51</b>	<b>\$ 58,357.19</b>	<b>\$ 3,495.80</b>	<b>\$ 145,642.92</b>	<b>\$ 10,590.30</b>	<b>\$ 5,856.11</b>	<b>\$ 809.50</b>	<b>\$ -</b>	<b>\$ 843,336.87</b>
<b>General &amp; Administrative Expenses</b>													
<b>Legislative</b>													
Supervisor Fees	\$ 200.00	\$ 400.00	\$ 400.00	\$ 400.00	\$ 400.00	\$ 400.00	\$ 400.00	\$ 400.00	\$ 200.00	\$ -	\$ 200.00	\$ 400.00	\$ 3,800.00
<b>Financial &amp; Administrative</b>													
Public Officials' Liability Insurance	2,244.00	-	-	-	-	-	-	-	-	-	-	-	2,244.00
Trustee Fees	2,199.90	-	-	-	-	-	-	-	-	1,728.49	-	-	3,928.39
Management	3,333.33	3,333.33	3,333.33	3,333.33	3,333.33	3,333.33	3,333.33	3,333.33	3,333.33	3,333.33	3,333.33	3,333.33	39,999.96
Engineering	-	806.00	887.00	648.50	633.50	598.00	783.50	2,151.50	477.50	-	-	2,439.50	9,425.00
Dissemination Agent	-	-	-	-	1,250.00	-	-	3,750.00	-	-	-	-	5,000.00
Property Appraiser	-	1,672.00	-	-	-	-	-	-	-	-	-	-	1,672.00
District Counsel	-	-	1,341.10	1,989.00	2,427.55	2,639.60	2,085.98	5,481.39	-	2,831.11	1,576.00	4,830.78	25,202.51
Assessment Administration	7,500.00	-	-	-	-	-	-	-	-	-	-	-	7,500.00
Audit	-	-	-	-	-	-	-	4,395.00	-	-	-	-	4,395.00
Travel and Per Diem	-	30.28	18.32	9.22	14.44	4.64	-	9.80	-	-	-	157.93	244.63
Telephone	-	93.61	19.47	6.49	30.69	-	19.69	6.16	33.11	9.02	-	106.59	324.83
Postage & Shipping	-	15.80	34.19	24.77	13.12	23.41	-	-	-	-	944.70	8.02	1,064.01
Copies	-	27.00	292.50	115.50	165.00	144.00	-	-	-	-	1,760.25	99.90	2,604.15
Legal Advertising	252.50	388.75	-	181.25	181.25	377.50	1,446.27	200.00	-	200.00	3,703.34	200.00	7,130.86
Bank Fees	-	-	-	-	-	-	-	-	-	-	-	-	-
Miscellaneous	-	32.70	-	-	-	-	-	182.85	-	-	-	-	215.55
Property Taxes	-	477.29	-	-	-	-	-	-	-	-	-	-	477.29
Website Maintenance	105.00	105.00	105.00	105.00	105.00	105.00	105.00	105.00	105.00	105.00	125.99	105.00	1,280.99
Dues, Licenses, and Fees	175.00	-	-	-	-	-	-	-	-	-	-	-	175.00
<b>Total General &amp; Administrative Expenses</b>	<b>\$ 16,009.73</b>	<b>\$ 7,381.76</b>	<b>\$ 6,430.91</b>	<b>\$ 6,813.06</b>	<b>\$ 8,563.88</b>	<b>\$ 7,626.48</b>	<b>\$ 8,173.77</b>	<b>\$ 20,015.03</b>	<b>\$ 4,148.94</b>	<b>\$ 8,206.95</b>	<b>\$ 11,643.61</b>	<b>\$ 11,681.05</b>	<b>\$ 116,684.17</b>

**Greenway Improvement District**  
Budget to Actual  
For the Month Ending 09/30/2019

	Oct-18	Nov-18	Dec-18	Jan-19	Feb-19	Mar-19	Apr-19	May-19	Jun-19	Jul-19	Aug-19	Sep-19	YTD Actual
<b>Field Operations</b>													
<b>Electric Utility Services</b>													
Electric	\$ -	\$ -	\$ 1,144.75	\$ 575.01	\$ 637.57	\$ 596.06	\$ 851.02	\$ 661.06	\$ 688.22	\$ 632.48	\$ 653.24	\$ 1,570.00	\$ 8,009.41
<b>Water-Sewer Combination Services</b>													
Water Reclaimed	-	-	4,365.69	6,770.97	4,270.91	3,558.22	3,627.22	4,091.01	4,973.26	4,096.16	2,978.30	8,346.41	47,078.15
<b>Other Physical Environment</b>													
General Insurance	2,525.00	-	-	-	-	-	-	-	-	-	-	-	2,525.00
Property & Casualty Insurance	-	5,987.00	-	-	-	-	-	-	-	-	-	-	5,987.00
Other Insurance	-	-	-	-	-	-	-	-	-	-	-	-	-
Irrigation	1,241.50	1,708.00	5,900.71	1,139.00	1,922.00	5,150.00	7,807.60	10,885.60	1,436.90	-	299.00	11,345.10	48,835.41
Landscaping Maintenance & Material	16,660.25	16,660.25	16,660.25	16,660.25	16,660.25	22,646.75	20,651.25	20,651.25	20,651.25	20,651.25	20,651.25	21,435.25	230,639.50
Tree Trimming	-	-	-	-	-	-	-	11,100.00	-	8,960.00	750.50	1,600.00	22,410.50
Flower & Plant Replacement	-	2,614.40	39,477.90	-	8,184.20	1,707.00	12,343.20	7,928.80	4,655.80	-	9,704.30	1,230.75	87,844.35
Contingency	-	-	-	-	-	3,700.00	-	3,126.80	-	-	11,415.03	4,915.00	23,156.83
Hurricane Cleanup	-	-	-	-	-	-	-	-	-	-	-	-	-
<b>Interchange Maintenance Expenses</b>													
IME - Aquatics Maintenance	-	601.20	300.60	300.60	300.60	300.60	300.60	300.60	300.60	300.60	300.60	300.60	3,607.20
IME - Irrigation	-	-	10.80	591.55	336.15	-	2,100.10	-	81.90	41.94	5,628.96	760.76	9,552.16
IME - Landscaping	7,354.44	7,354.44	7,354.44	7,354.44	7,354.44	8,832.60	-	7,354.44	7,354.44	14,708.88	14,241.24	10,519.85	99,783.65
IME - Lighting	98.28	262.47	200.73	105.66	756.27	409.41	79.48	69.65	72.09	68.09	75.28	13,843.05	16,040.44
IME - Miscellaneous	-	-	1,265.76	261.00	-	-	-	1,189.80	-	112.29	-	1,006.88	3,835.73
IME - Water Reclaimed	-	95.39	142.08	92.90	110.79	31.30	83.96	89.18	96.13	65.83	66.32	205.68	1,079.56
<b>Road &amp; Street Facilities</b>													
Entry and Wall Maintenance	-	-	-	-	-	-	3,000.00	-	-	-	-	-	3,000.00
Hardscape Maintenance	-	-	-	-	-	-	-	-	-	-	350.00	3,850.00	4,200.00
Streetlights	330.50	511.25	15,986.97	6,885.28	6,892.32	6,876.70	7,138.47	7,126.68	7,133.83	7,206.35	7,211.94	14,417.18	87,717.47
Accent Lighting	-	-	-	-	-	-	-	-	-	-	-	-	-
<b>Parks &amp; Recreation</b>													
Personnel Leasing Agreement	-	-	-	-	-	-	-	-	-	-	-	18,333.37	18,333.37
<b>Reserves</b>													
Infrastructure Capital Reserve	-	-	-	-	-	-	-	-	-	-	-	22,200.00	22,200.00
Interchange Maintenance Reserve	-	-	-	-	-	-	-	-	-	-	-	3,146.67	3,146.67
<b>Total Field Operations Expenses</b>	<u>\$ 28,209.97</u>	<u>\$ 36,794.40</u>	<u>\$ 92,810.68</u>	<u>\$ 40,736.66</u>	<u>\$ 47,425.50</u>	<u>\$ 63,808.64</u>	<u>\$ 67,982.90</u>	<u>\$ 74,572.87</u>	<u>\$ 47,444.42</u>	<u>\$ 66,843.87</u>	<u>\$ 74,325.94</u>	<u>\$ 139,026.55</u>	<u>\$ 748,982.40</u>
<b>Total Expenses</b>	<u>\$ 44,219.70</u>	<u>\$ 43,176.16</u>	<u>\$ 99,241.59</u>	<u>\$ 47,549.72</u>	<u>\$ 55,979.38</u>	<u>\$ 61,434.12</u>	<u>\$ 66,156.67</u>	<u>\$ 94,587.90</u>	<u>\$ 51,593.36</u>	<u>\$ 65,050.82</u>	<u>\$ 85,969.55</u>	<u>\$ 150,707.60</u>	<u>\$ 865,666.57</u>
<b>Income (Loss) from Operations</b>	<u>\$ (44,219.70)</u>	<u>\$ 168,577.85</u>	<u>\$ 150,910.76</u>	<u>\$ (18,828.54)</u>	<u>\$ 71,977.13</u>	<u>\$ (3,076.93)</u>	<u>\$ (62,660.87)</u>	<u>\$ 51,055.02</u>	<u>\$ (41,003.06)</u>	<u>\$ (59,194.71)</u>	<u>\$ (85,160.05)</u>	<u>\$ (150,707.60)</u>	<u>\$ (22,330.70)</u>
<b>Other Income (Expense)</b>													
Interest Income	\$ 5.89	\$ 5.74	\$ 677.65	\$ 13.22	\$ 5.46	\$ 4,027.69	\$ 13.45	\$ 10.58	\$ 707.60	\$ 48.71	\$ 7.68	\$ 314.40	\$ 5,838.07
<b>Total Other Income (Expense)</b>	<u>\$ 5.89</u>	<u>\$ 5.74</u>	<u>\$ 677.65</u>	<u>\$ 13.22</u>	<u>\$ 5.46</u>	<u>\$ 4,027.69</u>	<u>\$ 13.45</u>	<u>\$ 10.58</u>	<u>\$ 707.60</u>	<u>\$ 48.71</u>	<u>\$ 7.68</u>	<u>\$ 314.40</u>	<u>\$ 5,838.07</u>
<b>Net Income (Loss)</b>	<u>\$ (44,213.81)</u>	<u>\$ 168,583.59</u>	<u>\$ 151,588.41</u>	<u>\$ (18,815.32)</u>	<u>\$ 71,982.59</u>	<u>\$ 950.76</u>	<u>\$ (62,647.42)</u>	<u>\$ 51,065.60</u>	<u>\$ (40,295.46)</u>	<u>\$ (59,146.00)</u>	<u>\$ (85,152.37)</u>	<u>\$ (150,393.20)</u>	<u>\$ (16,492.63)</u>

**Greenway Improvement District**  
**Statement of Activities**  
**As of 10/31/2019**

	General Fund	Debt Service	Capital Projects Fund	General Long-Term Debt	Total
<b><u>Revenues</u></b>					
Other Assessments		\$780,663.34			\$780,663.34
Other Income & Other Financing Sources		61,075.27			61,075.27
Inter-Fund Group Transfers In		(525.38)			(525.38)
Other Income & Other Financing Sources			\$702,365.53		702,365.53
Inter-Fund Transfers In			525.38		525.38
Total Revenues	<u>\$0.00</u>	<u>\$841,213.23</u>	<u>\$702,890.91</u>	<u>\$0.00</u>	<u>\$1,544,104.14</u>
<b><u>Expenses</u></b>					
Supervisor Fees	\$400.00				\$400.00
Public Officials' Liability Insurance	2,300.00				2,300.00
Trustee Services	2,419.89				2,419.89
Assessment Administration	7,500.00				7,500.00
Legal Advertising	256.25				256.25
Web Site Maintenance	105.00				105.00
Dues, Licenses, and Fees	250.00				250.00
Water Reclaimed	95.64				95.64
General Insurance	2,588.00				2,588.00
Property & Casualty	4,112.00				4,112.00
Irrigation	1,038.22				1,038.22
Landscaping Maintenance & Material	18,420.42				18,420.42
IME - Aquatics Maintenance	300.60				300.60
IME - Irrigation	864.00				864.00
IME - Landscaping	7,272.24				7,272.24
IME - Lighting	59.40				59.40
Legal Advertising			\$94.17		94.17
Contingency			1,392.00		1,392.00
Total Expenses	<u>\$47,981.66</u>	<u>\$0.00</u>	<u>\$1,486.17</u>	<u>\$0.00</u>	<u>\$49,467.83</u>
<b><u>Other Revenues (Expenses) &amp; Gains (Losses)</u></b>					
Interest Income	\$6.98				\$6.98
Interest Income			\$0.09		0.09
Total Other Revenues (Expenses) & Gains (Losses)	<u>\$6.98</u>	<u>\$0.00</u>	<u>\$0.09</u>	<u>\$0.00</u>	<u>\$7.07</u>
<b>Change in Net Assets</b>	<b>(\$47,974.68)</b>	<b>\$841,213.23</b>	<b>\$701,404.83</b>	<b>\$0.00</b>	<b>\$1,494,643.38</b>
<b>Net Assets At Beginning Of Year</b>	<b><u>\$49,565.79</u></b>	<b><u>\$5,326,356.89</u></b>	<b><u>(\$1,469,177.62)</u></b>	<b><u>\$0.00</u></b>	<b><u>\$3,906,745.06</u></b>
<b>Net Assets At End Of Year</b>	<b><u>\$1,591.11</u></b>	<b><u>\$6,167,570.12</u></b>	<b><u>(\$767,772.79)</u></b>	<b><u>\$0.00</u></b>	<b><u>\$5,401,388.44</u></b>

**Greenway Improvement District**  
**Statement of Financial Position**  
**As of 10/31/2019**

	General Fund	Debt Service	Capital Projects Fund	General Long-Term Debt	Total
<b><u>Assets</u></b>					
<b><u>Current Assets</u></b>					
General Checking Account	\$25,258.89				\$25,258.89
State Board of Administration	1,502.94				1,502.94
Assessments Receivable	4,322.07				4,322.07
Deposits	1,251.00				1,251.00
Infrastructure Capital Reserve	31,986.91				31,986.91
Interchange Maintenance Reserve	15,775.16				15,775.16
Debt Service Reserve (Series 2013)		\$3,551,196.88			3,551,196.88
Debt Service Reserve (Series 2018)		402,938.30			402,938.30
Revenue (Series 2013)		70.01			70.01
Interest (Series 2013)		1,254,600.00			1,254,600.00
Interest (Series 2018)		147.21			147.21
Prepayment (Series 2013)		958,617.72			958,617.72
General Checking Account			\$7,072.57		7,072.57
Acquisition/Construction (Series 2013)			2,330.77		2,330.77
Acquisition/Construction (Series 2018)			131,676.02		131,676.02
Total Current Assets	<u>\$80,096.97</u>	<u>\$6,167,570.12</u>	<u>\$141,079.36</u>	<u>\$0.00</u>	<u>\$6,388,746.45</u>
<b><u>Investments</u></b>					
Amount Available in Debt Service Funds				\$6,167,570.12	\$6,167,570.12
Amount To Be Provided				42,792,429.88	42,792,429.88
Total Investments	<u>\$0.00</u>	<u>\$0.00</u>	<u>\$0.00</u>	<u>\$48,960,000.00</u>	<u>\$48,960,000.00</u>
<b>Total Assets</b>	<u><u>\$80,096.97</u></u>	<u><u>\$6,167,570.12</u></u>	<u><u>\$141,079.36</u></u>	<u><u>\$48,960,000.00</u></u>	<u><u>\$55,348,746.45</u></u>
<b><u>Liabilities and Net Assets</u></b>					
<b><u>Current Liabilities</u></b>					
Accounts Payable	\$43,372.80				\$43,372.80
Due To Other Governmental Units	35,133.06				35,133.06
Accounts Payable			\$338,426.35		338,426.35
Retainage Payable			570,425.80		570,425.80
Total Current Liabilities	<u>\$78,505.86</u>	<u>\$0.00</u>	<u>\$908,852.15</u>	<u>\$0.00</u>	<u>\$987,358.01</u>
<b><u>Long Term Liabilities</u></b>					
Revenue Bonds Payable - Long-Term				\$48,960,000.00	\$48,960,000.00
Total Long Term Liabilities	<u>\$0.00</u>	<u>\$0.00</u>	<u>\$0.00</u>	<u>\$48,960,000.00</u>	<u>\$48,960,000.00</u>
<b>Total Liabilities</b>	<u><u>\$78,505.86</u></u>	<u><u>\$0.00</u></u>	<u><u>\$908,852.15</u></u>	<u><u>\$48,960,000.00</u></u>	<u><u>\$49,947,358.01</u></u>
<b><u>Net Assets</u></b>					
Net Assets, Unrestricted	\$49,565.79				\$49,565.79
Current Year Net Assets, Unrestricted	(47,974.68)				(47,974.68)
Net Assets, Unrestricted		\$5,326,356.89			5,326,356.89
Current Year Net Assets, Unrestricted		841,213.23			841,213.23
Net Assets, Unrestricted			(\$1,469,177.62)		(1,469,177.62)
Current Year Net Assets, Unrestricted			701,404.83		701,404.83
<b>Total Net Assets</b>	<u><u>\$1,591.11</u></u>	<u><u>\$6,167,570.12</u></u>	<u><u>(\$767,772.79)</u></u>	<u><u>\$0.00</u></u>	<u><u>\$5,401,388.44</u></u>
<b>Total Liabilities and Net Assets</b>	<u><u>\$80,096.97</u></u>	<u><u>\$6,167,570.12</u></u>	<u><u>\$141,079.36</u></u>	<u><u>\$48,960,000.00</u></u>	<u><u>\$55,348,746.45</u></u>

**Greeneway Improvement District**  
**Budget to Actual**  
**For the Month Ending 10/31/2019**

	<b>Actual</b>	<b>Budget</b>	<b>Variance</b>	<b>FY 2020 Adopted Budget</b>
<b><u>Revenues</u></b>				
On-Roll Assessments	\$ -	\$ 41,414.72	\$ (41,414.72)	\$ 496,976.64
Off-Roll Assessments	-	34,515.93	(34,515.93)	414,191.21
<b>Net Revenues</b>	<b>\$ -</b>	<b>\$ 75,930.65</b>	<b>\$ (75,930.65)</b>	<b>\$ 911,167.85</b>
<b><u>General &amp; Administrative Expenses</u></b>				
<b>Legislative</b>				
Supervisor Fees	\$ 400.00	\$ 600.00	\$ (200.00)	\$ 7,200.00
<b>Financial &amp; Administrative</b>				
Public Officials' Liability Insurance	2,300.00	208.33	2,091.67	2,500.00
Trustee Services	2,419.89	333.33	2,086.56	4,000.00
Management	-	3,333.33	(3,333.33)	40,000.00
Engineering	-	833.33	(833.33)	10,000.00
Dissemination Agent	-	416.67	(416.67)	5,000.00
Property Appraiser	-	141.67	(141.67)	1,700.00
District Counsel	-	2,500.00	(2,500.00)	30,000.00
Assessment Administration	7,500.00	625.00	6,875.00	7,500.00
Reamortization Schedules	-	20.83	(20.83)	250.00
Audit	-	583.33	(583.33)	7,000.00
Travel and Per Diem	-	20.83	(20.83)	250.00
Telephone	-	20.83	(20.83)	250.00
Postage & Shipping	-	66.67	(66.67)	800.00
Copies	-	125.00	(125.00)	1,500.00
Legal Advertising	256.25	500.00	(243.75)	6,000.00
Miscellaneous	-	8.34	(8.34)	100.00
Property Taxes	-	166.67	(166.67)	2,000.00
Web Site Maintenance	105.00	225.00	(120.00)	2,700.00
Dues, Licenses, and Fees	250.00	14.58	235.42	175.00
<b>Total General &amp; Administrative Expenses</b>	<b>\$ 13,231.14</b>	<b>\$ 10,743.74</b>	<b>\$ 2,487.40</b>	<b>\$ 128,925.00</b>



**Greenway Improvement District**  
**Budget to Actual**  
**For the Month Ending 10/31/2019**

	Actual	Budget	Variance	FY 2020 Adopted Budget
<b><u>Field Operations</u></b>				
<b>Electric Utility Services</b>				
Electric	\$ -	\$ 583.33	\$ (583.33)	\$ 7,000.00
<b>Water-Sewer Combination Services</b>				
Water Reclaimed	95.64	3,333.33	(3,237.69)	40,000.00
<b>Other Physical Environment</b>				
General Insurance	2,588.00	250.00	2,338.00	3,000.00
Property & Casualty Insurance	4,112.00	583.33	3,528.67	7,000.00
Other Insurance	-	12.50	(12.50)	150.00
Irrigation Repairs	1,038.22	4,583.33	(3,545.11)	55,000.00
Landscaping Maintenance & Material	18,420.42	19,145.87	(725.45)	229,750.40
Other Landscaping Maintenance	-	1,666.67	(1,666.67)	20,000.00
Tree Trimming	-	5,175.38	(5,175.38)	62,104.50
Flower & Plant Replacement	-	3,750.00	(3,750.00)	45,000.00
Contingency	-	708.33	(708.33)	8,500.00
Hurricane Cleanup	-	1,666.67	(1,666.67)	20,000.00
<b>Interchange Maintenance Expenses</b>				
IME - Aquatics Maintenance	300.60	318.00	(17.40)	3,816.00
IME - Irrigation Repairs	864.00	900.00	(36.00)	10,800.00
IME - Landscaping	7,272.24	7,272.24	-	87,266.88
IME - Lighting	59.40	1,846.15	(1,786.75)	22,153.84
IME - Miscellaneous	-	138.45	(138.45)	1,661.40
IME - Water Reclaimed	-	276.92	(276.92)	3,323.08
<b>Road &amp; Street Facilities</b>				
Entry and Wall Maintenance	-	250.00	(250.00)	3,000.00
Hardscape Maintenance	-	416.67	(416.67)	5,000.00
Streetlights	-	9,197.51	(9,197.51)	110,370.08
Accent Lighting	-	166.67	(166.67)	2,000.00
<b>Parks &amp; Recreation</b>				
Personnel Leasing Agreement	-	1,666.67	(1,666.67)	20,000.00
<b>Reserves</b>				
Infrastructure Capital Reserve	-	1,850.00	(1,850.00)	22,200.00
Interchange Maintenance Reserve	-	262.22	(262.22)	3,146.67
	<u>\$ 34,750.52</u>	<u>\$ 66,020.24</u>	<u>\$ (31,269.72)</u>	<u>\$ 792,242.85</u>
<b>Total Expenses</b>	<u>\$ 47,981.66</u>	<u>\$ 76,763.98</u>	<u>\$ (28,782.32)</u>	<u>\$ 921,167.85</u>
<b>Income (Loss) from Operations</b>	<u>\$ (47,981.66)</u>	<u>\$ (833.33)</u>	<u>\$ (47,148.33)</u>	<u>\$ (10,000.00)</u>
<b><u>Other Income (Expense)</u></b>				
Interest Income	\$ 6.98	\$ 833.33	\$ (826.35)	\$ 10,000.00
<b>Total Other Income (Expense)</b>	<u>\$ 6.98</u>	<u>\$ 833.33</u>	<u>\$ (826.35)</u>	<u>\$ 10,000.00</u>
<b>Net Income (Loss)</b>	<u><u>\$ (47,974.68)</u></u>	<u><u>\$ -</u></u>	<u><u>\$ (47,974.68)</u></u>	<u><u>\$ -</u></u>

Greenway Improvement District  
FY 2020  
Cash Flow Analysis

	Beg. Cash	FY18 Inflows	FY18 Outflows	FY19 Inflows	FY19 Outflows	FY20 Inflows	FY20 Outflows	End. Cash
10/1/2018	4,499.76	33,166.90	(27,247.04)	610.65	(5,629.50)	-	-	5,400.77
11/1/2018	5,400.77	-	(3,766.68)	235,975.89	(76,859.32)	-	-	160,750.66
12/1/2018	160,750.66	-	(1,202.40)	1,394,381.28	(735,704.80)	-	-	818,224.74
1/1/2019	818,224.74	-	-	136,470.07	(678,444.72)	-	-	276,250.09
2/1/2019	276,250.09	-	-	261,390.01	(183,917.67)	-	-	353,722.43
3/1/2019	353,722.43	-	-	330,302.13	(325,886.77)	-	-	358,137.79
4/1/2019	358,137.79	-	-	27,311.22	(95,472.88)	-	-	289,976.13
5/1/2019	289,976.13	-	-	233,360.34	(166,204.37)	-	-	357,132.10
6/1/2019	357,132.10	-	-	67,457.53	(121,720.13)	-	-	302,869.50
7/1/2019	302,869.50	-	-	30,373.89	(85,753.06)	-	-	247,490.33
8/1/2019	247,490.33	-	-	4,532.79	(84,675.15)	-	-	167,347.97
9/1/2019	167,347.97	-	-	308.36	(117,050.52)	-	(9,000.00)	41,605.81
10/1/2019	41,605.81	-	-	6,360.14	(16,918.51)	0.52	(5,789.07)	25,258.89
11/1/2019	25,258.89	-	-	-	(95.64)	1,132.70	(14,519.54)	11,776.41 as of 11/13/2019
FY 20 Totals		33,166.90	(32,216.12)	2,728,834.30	(2,694,333.04)	1,133.22	(29,308.61)	

**Greenway Improvement District  
Construction Tracking - mid-November**

Amount

<b>Series 2013 Bond Issue</b>	
Original Construction Fund	\$ 48,700,000.00
Additions (Interest, Transfers from DSR, etc.)	579,240.66
Cumulative Draws Through Prior Month	(49,278,148.89)
	=====
<b>Construction Funds Available</b>	<b>\$ 1,091.77</b>
<b>Requisitions This Month</b>	
Requisition #668: Orlando Sentinel	\$ (94.17)
	=====
<b>Total Requisitions This Month</b>	<b>\$ (94.17)</b>
	=====
<b>Series 2013 Construction Funds Remaining</b>	<b>\$ 997.60</b>

<b>Series 2018 Bond Issue</b>	
	\$ 24,000,000.00
Additions (Interest, Transfers from DSR, etc.)	84,450.17
Cumulative Draws Through Prior Month	(4,480,464.19)
<b>Requisitions This Month</b>	
	=====
<b>Total Requisitions This Month</b>	<b>\$ -</b>
<b>Series 2018 Construction Funds Remaining</b>	<b>\$ 19,603,985.98</b>

**Current Committed Funding**

Lake Nona South - Traffic Control Devices	\$ (54,546.10)
Nemours Parkway Phase 4 - Yellowstone Landscape	-
Nemours Parkway Phase 6 - Jr. Davis	(114,716.81)
Lake Nona Hartwell Court Extension - DeWitt Excavation	(169,612.17)
Lake Nona Nemours Parkway Phase 7 - Jr. Davis	(1,948,959.63)
	=====

**Total Current Committed Funding** **\$ (2,287,834.71)**

**Upcoming Committed Funding**

Lake Nona Kellogg Avenue Extension – DeWitt Excavation	\$ (586,812.14)
	=====

**Total Upcoming Committed Funding** **\$ (586,812.14)**

**Total Committed Funding** **\$ (2,874,646.85)**

<b>Net Uncommitted</b>	<b>16,730,336.73</b>
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